

# SPARTANBURG SCHOOL DISTRICT FIVE JAMES F. BYRNES HIGH SCHOOL PHASE 3 DEMOLITION

150 E. MAIN STREET  
DUNCAN, SC 29334

Issue Date/ Description: 03/08/2024 GMP DEMO SET  
MPS Project No: 022652.00  
Agency Review ID:

## OWNER

DISTRICT FIVE SCHOOLS OF SPARTANBURG COUNTY  
100 NORTH DANZLER ROAD  
DUNCAN, SC 29334  
864-949-2350  
https://www.spart5.net/  
DR. GREG WOOD

## GENERAL CONTRACTOR

McKNIGHT CONSTRUCTION  
635 NW FRONTAGE RD  
AUGUSTA, GA 30907  
706-863-7784  
joeKinsey@mcknightconstructionco.com  
MR. JOE KINSEY

## ARCHITECT

McMILLAN PAZDAN SMITH ARCHITECTS  
127 DUNBAR STREET  
SPARTANBURG, SC, 29306  
864-585-5678  
MCHWNING@MCMILLANPAZDANSMITH.COM  
DR. MICHAEL CHEWNING, AIA

## CIVIL

BLACKWOOD AND ASSOCIATES  
603 W. MAIN STREET  
SPARTANBURG, SC 29301  
864-583-5432  
WWW.BAIGROUP.NET  
MR. TREY BLACKWOOD, PE

## STRUCTURAL

BAILEY AND SON ENGINEERING, INC.  
124 EDINBURGH COURT - SUITE 209  
GREENVILLE, SC 29607  
864-232-1284  
PGURLEY@BASE91.COM  
MR. PAUL GURLEY, PE

## PLUMBING

CROW & BULMAN ENGINEERING  
800 E. MAIN ST.  
SPARTANBURG, SC 29302  
864-585-9903  
SBULMAN@CBENGR.COM  
MR. SHANE BULMAN, PE

## MECHANICAL

CROW & BULMAN ENGINEERING  
800 E. MAIN ST.  
SPARTANBURG, SC 29302  
864-585-9903  
SBULMAN@CBENGR.COM  
MR. SHANE BULMAN, PE

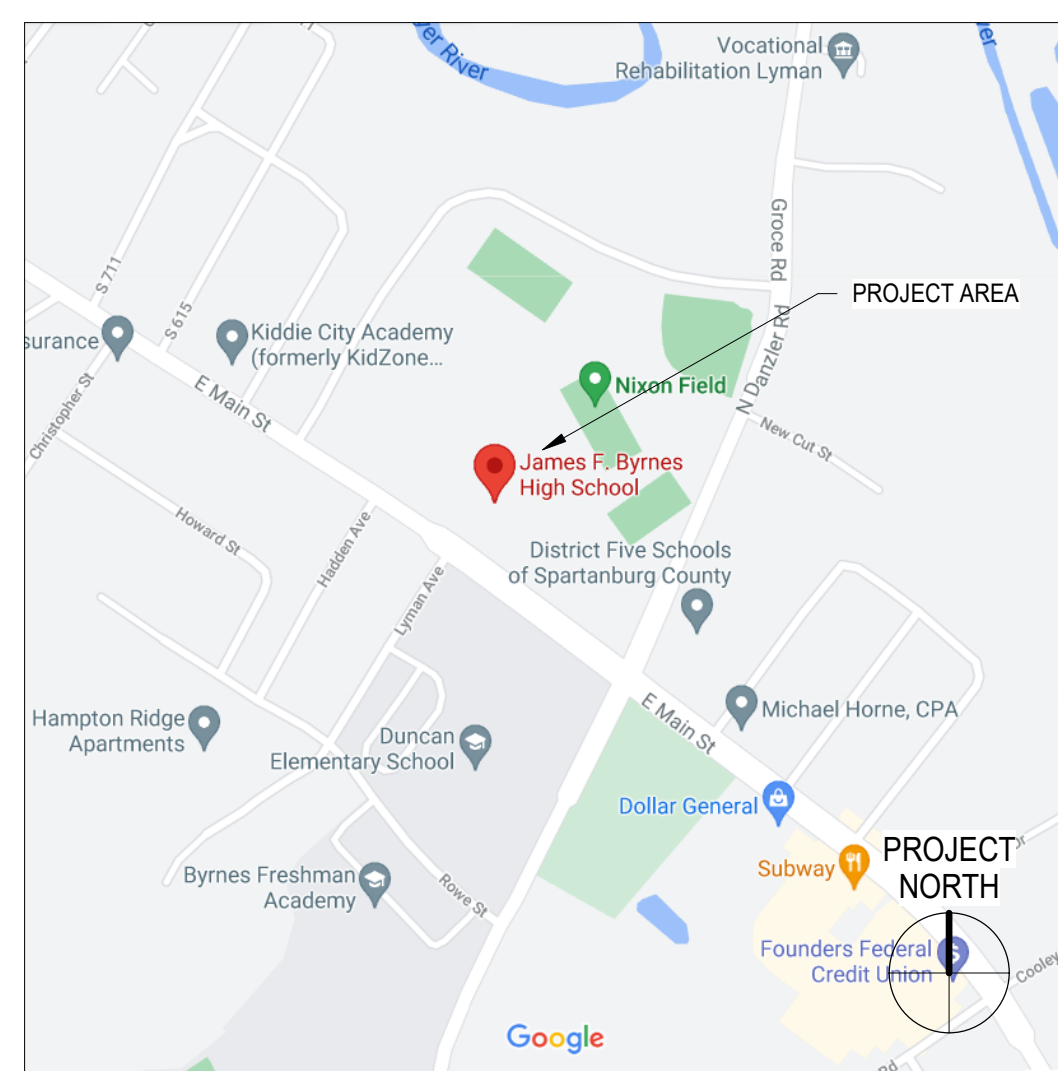
## ELECTRICAL

CAROLINA ENGINEERING SOLUTIONS  
8 W. MCBEE AVE, SUITE 203  
GREENVILLE, SC 29601  
(864) 370-9355  
JJOYE@CAROLINAENGR.COM  
MR. JAMES JOYE, PE

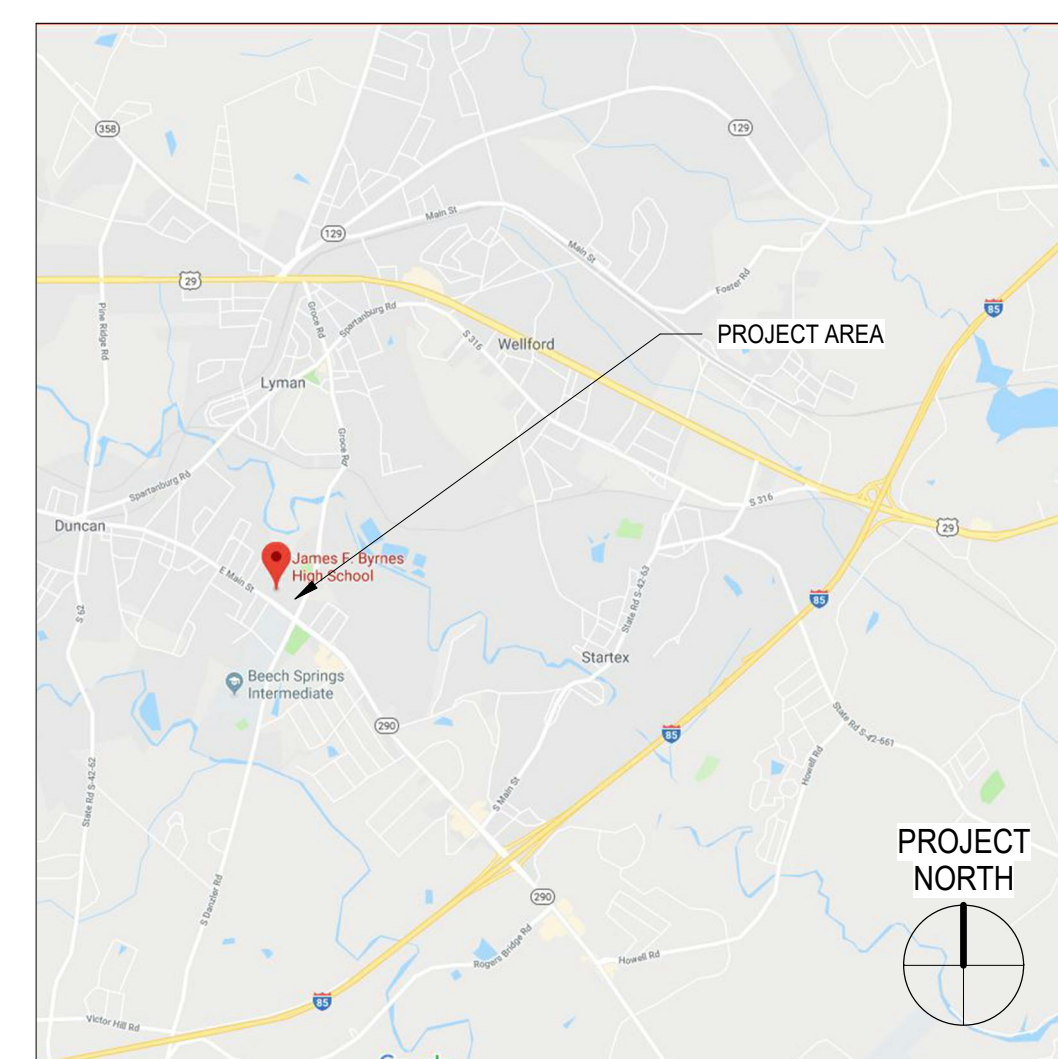
## FIRE PROTECTION

MADDOX ENGINEERING  
420 The Pkwy # F2  
GREER, SC 29690  
864-334-1875  
WARREN@MADDOXENG.PRO  
MR. WARREN MADDOX, PE

## SITE MAP



## VICINITY MAP



## DRAWING LIST

### GENERAL

AD-G001	PHASE 3 DEMOLITION - COVER SHEET
AD-LS102	LIFE SAFETY PLAN DURING CONSTRUCTION - 1100 AREAS G & H
AD-LS103	LIFE SAFETY PLAN DURING CONSTRUCTION - 1100 AREAS D, E & F

### CIVIL

CD1.1	EXISTING CONDITIONS
CD1.2	SITE PREP & DEMOLITION PLAN
CD2.1	SITE PLAN
CD4.1	SITE DETAILS

### ARCHITECTURAL

AD400	1100 LEVEL - OVERALL DEMOLITION PLAN
AD401	ENLARGED DEMOLITION PLANS AND WALL SECTIONS
AD402	ENLARGED DEMOLITION PLANS AND WALL SECTIONS
AD403	ENLARGED DEMOLITION PLANS AND WALL SECTIONS
AD404	ENLARGED DEMOLITION PLANS AND WALL SECTIONS
AD405	ENLARGED DEMOLITION PLANS AND WALL SECTIONS
AD406	ENLARGED DEMOLITION PLANS AND WALL SECTIONS

### STRUCTURAL

SD001	PROJECT NOTES & DESIGN CRITERIA
SD100	STRUCTURAL DEMOLITION PLANS
SD101	STRUCTURAL DEMOLITION PLANS
SD102	STRUCTURAL DEMOLITION PLANS
SD103	STRUCTURAL DEMOLITION PLANS
SD104	LINTEL SECTIONS & DETAILS
SD105	FRAMING SECTIONS & DETAILS

### PLUMBING

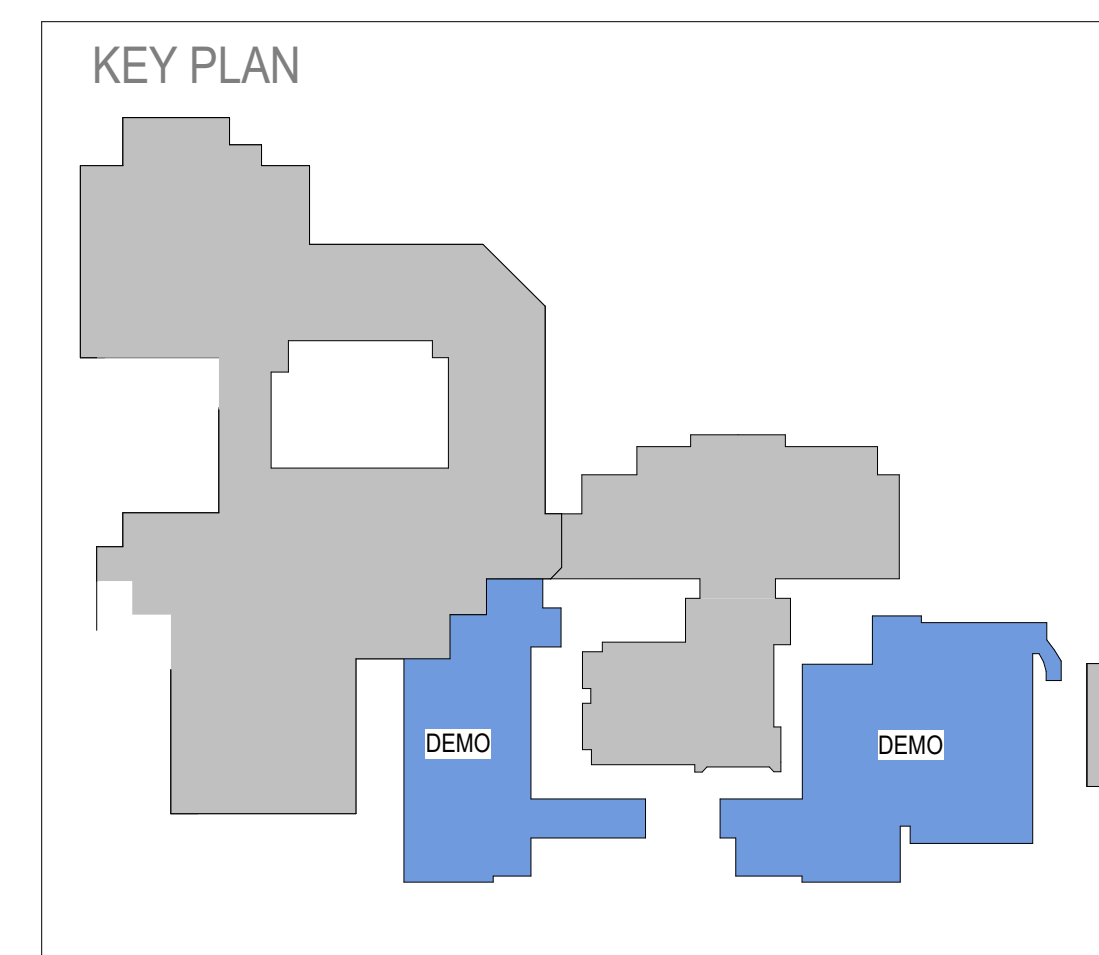
PD-100	PLUMBING DEMOLITION PLANS
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### MECHANICAL

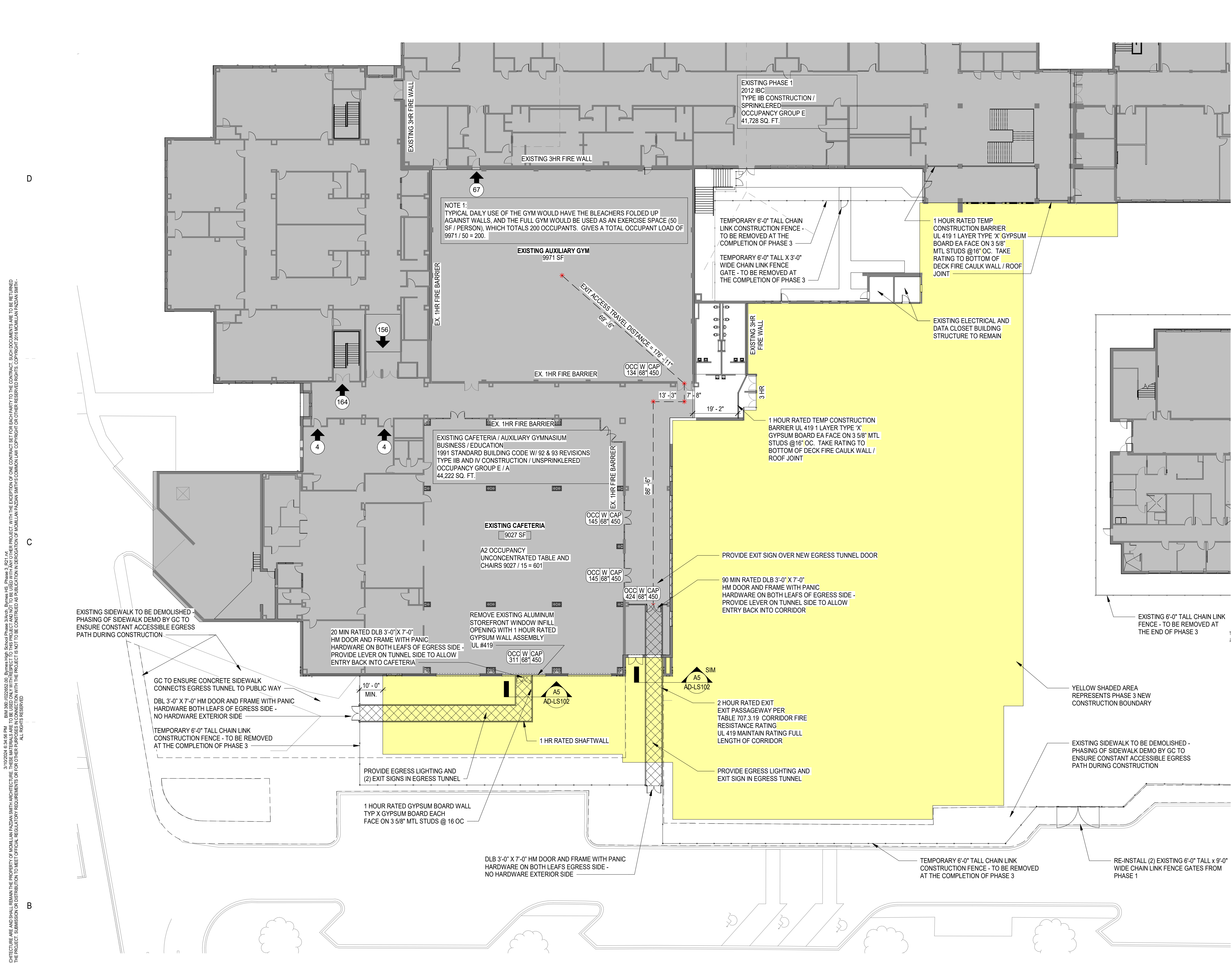
MD-100	OVERALL HVAC DEMOLITION PLAN
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### ELECTRICAL

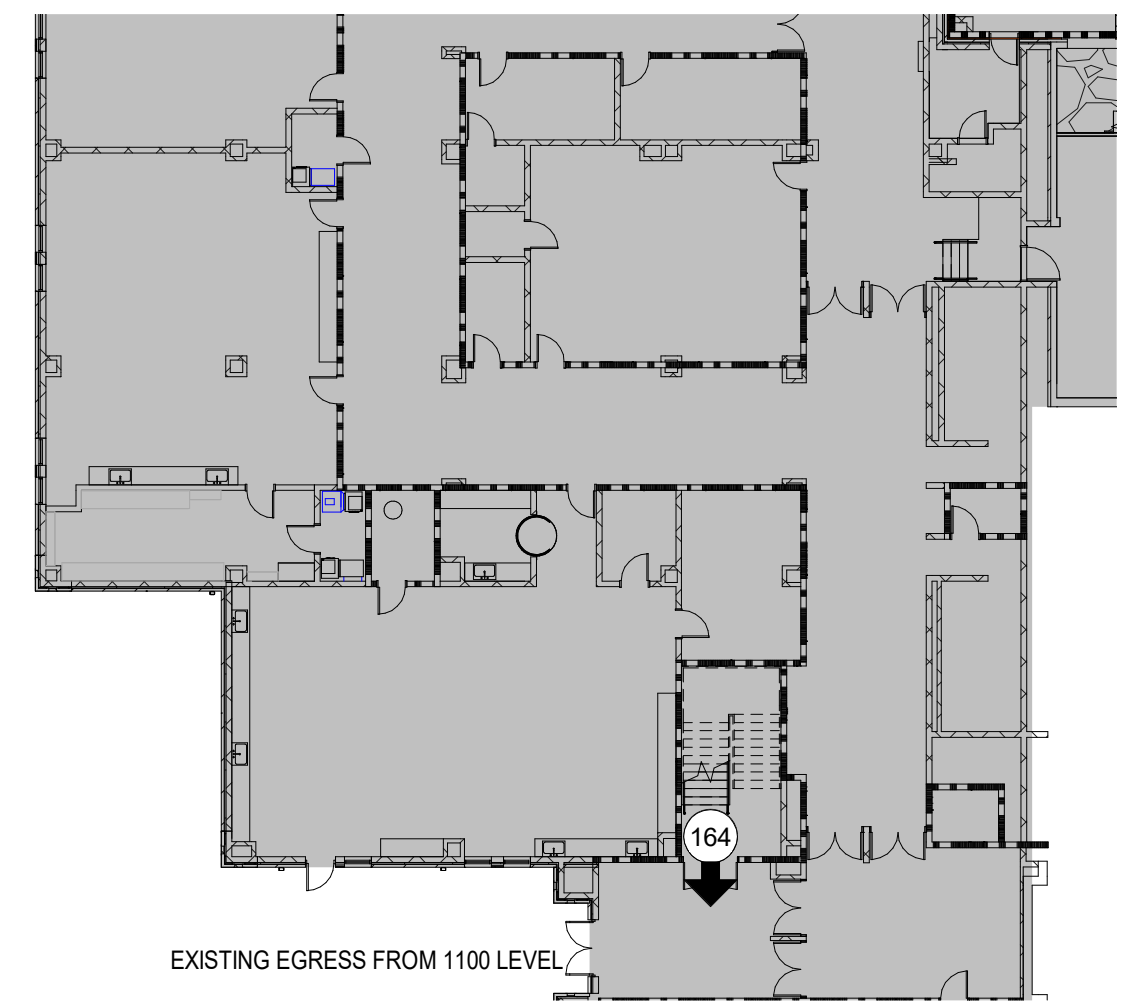
ED201	ELECTRICAL DEMOLITION PLAN - AREA 'A'
ED202	ELECTRICAL DEMOLITION PLAN - AREA 'B'
ED203	ELECTRICAL DEMOLITION PLAN - AREA 'C'
ED301	SPECIAL SYSTEMS DEMOLITION PLAN



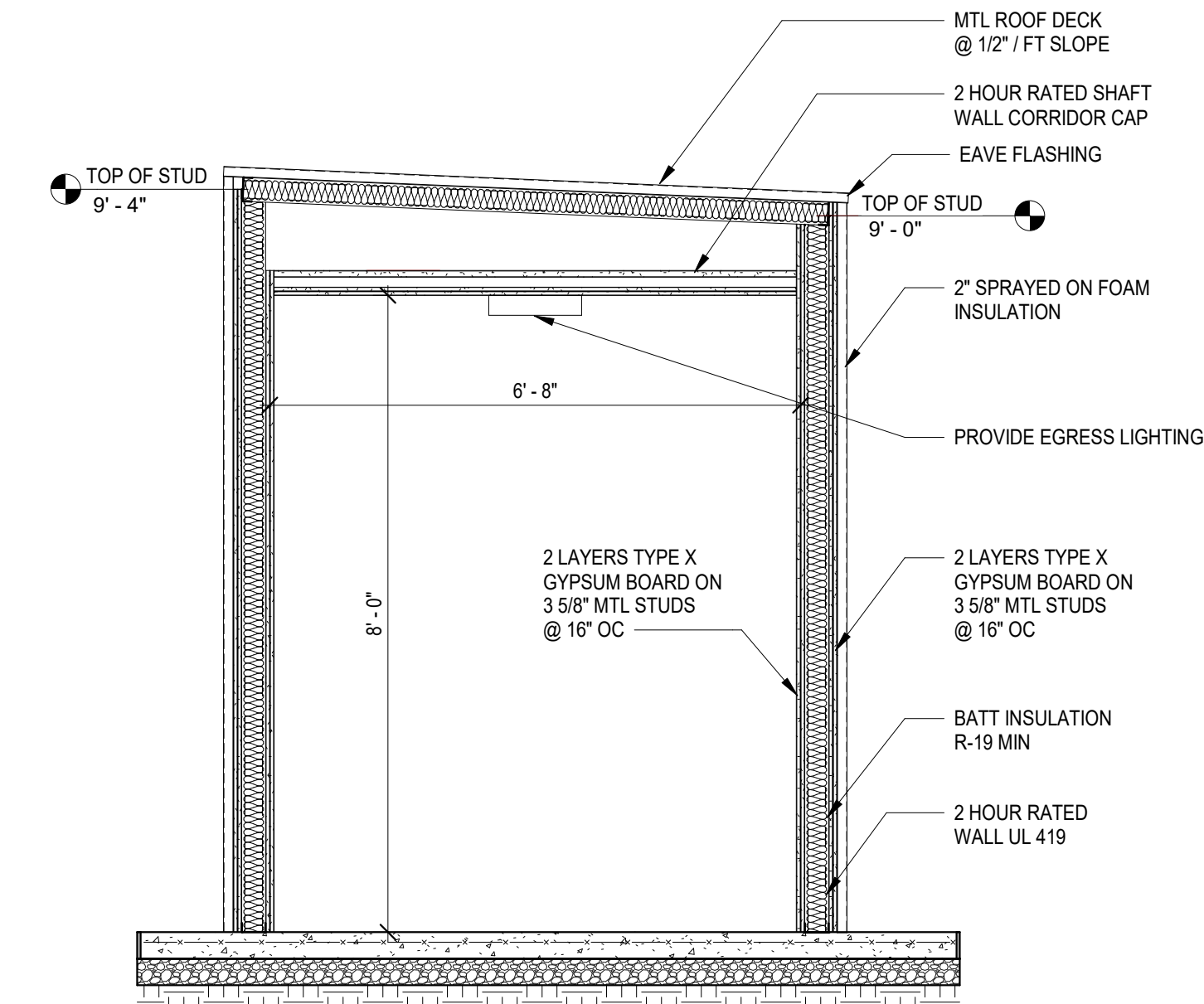




**1100 LEVEL - LIFE SAFETY PLAN AREAS G & H**  
 AD-LS102 3/64" = 1'-0"

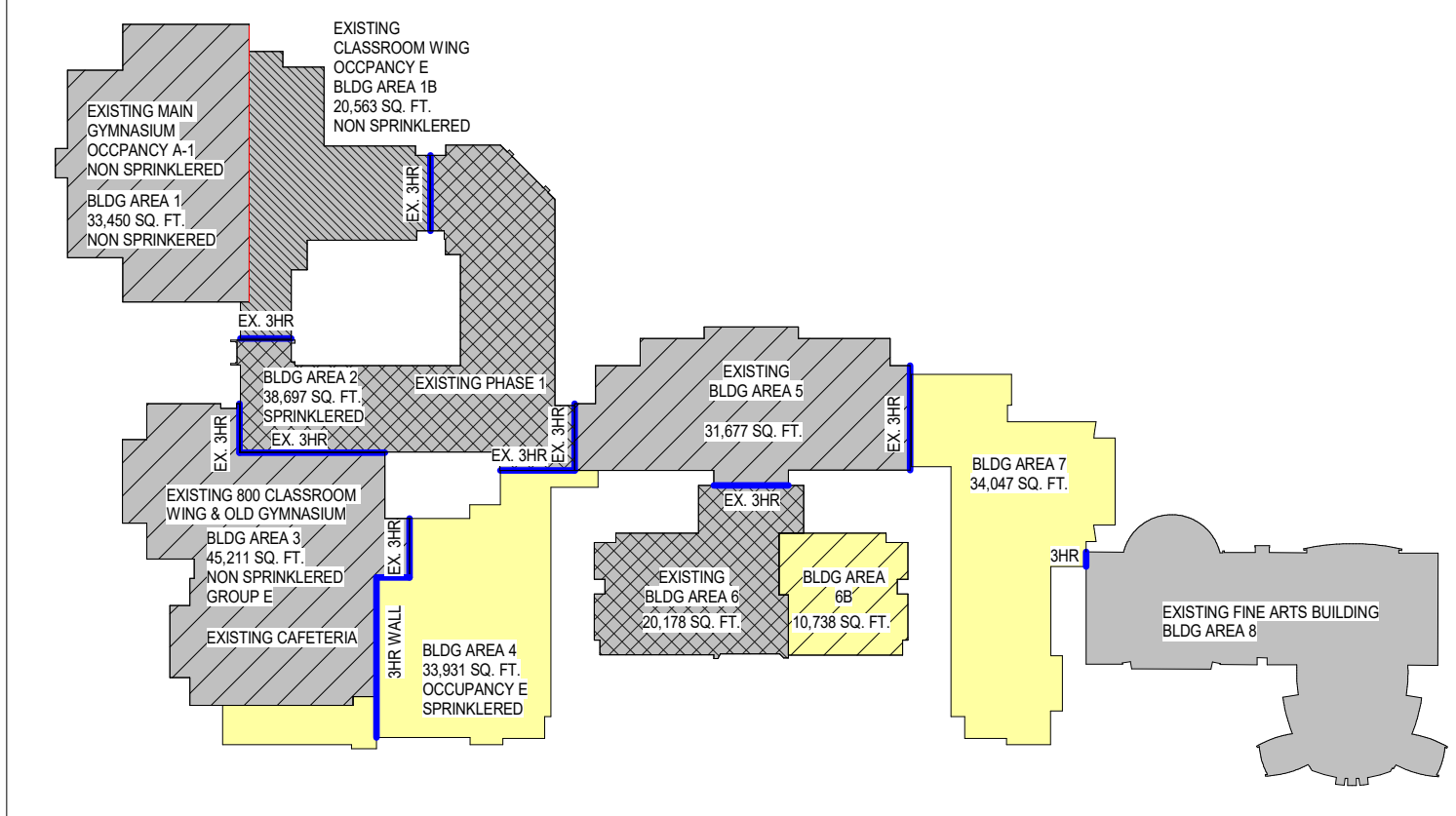


**1000 LEVEL - LIFE SAFETY NEW CONSTRUCTION 1000 AREA K**  
 AD-LS102 3/64" = 1'-0"



**EGRESS TUNNEL SECTION**  
 AD-LS102 1/2" = 1'-0"

**FIRE AREAS - 1100 LEVEL**



**LIFE SAFETY LEGEND**

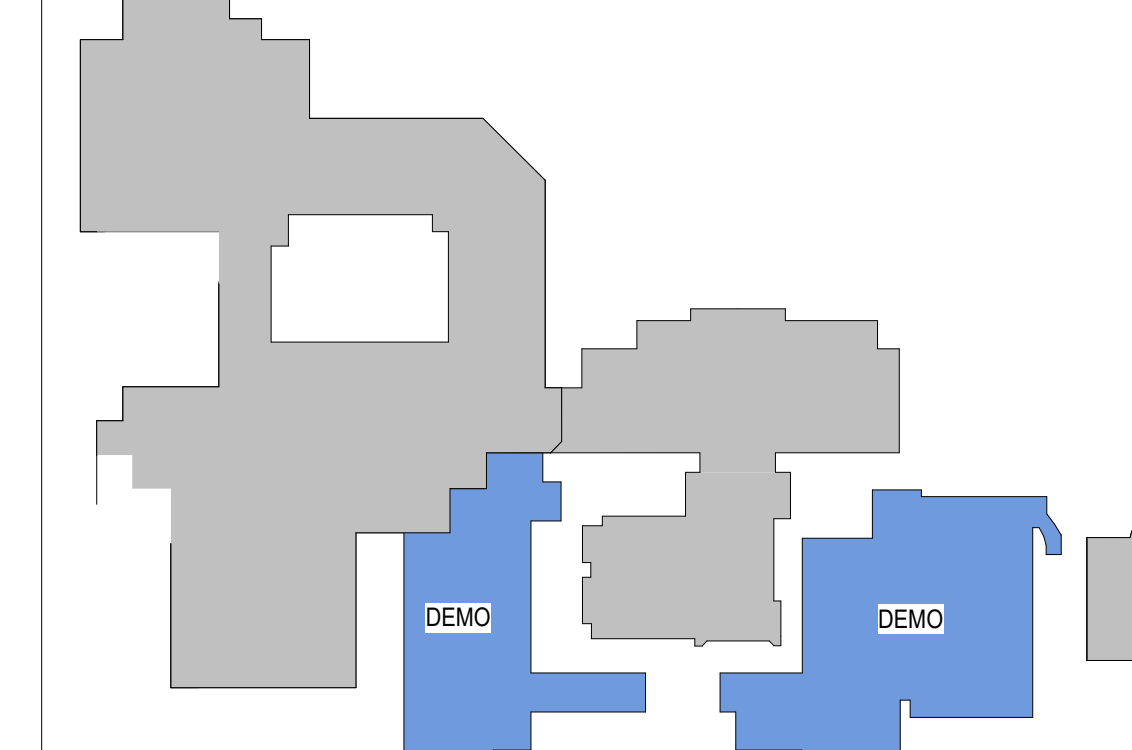
**FIRE RATED CONSTRUCTION NOTES:**

- SEE FLOOR PLAN(S) AND WALL TYPE SCHEDULE FOR WALL ASSEMBLY TYPES AND CONSTRUCTION
- FIRE CAULK AROUND ALL ELECTRICAL CONDUIT PASSING THROUGH WALLS.
- SEE MECHANICAL AND PLUMBING DRAWINGS FOR SPECIAL DETAILS WHERE DUCTWORK AND PIPING PASS THROUGH WALLS.

- 45 MIN. FORTY-FIVE MINUTE RATED DOOR & FRAME
- 90 MIN. ONE AND ONE HALF HOUR RATED DOOR & FRAME
- 3 HR. THREE HOUR RATED DOOR & FRAME
- SMOKE PARTITION (SMOKE TIGHT)
- RATED - 1 HOUR
- RATED - 2 HOUR
- RATED - 3 HOUR
- EGRESS PATH OF TRAVEL
- BRACKET MOUNTED FIRE EXTINGUISHER
- RECESSED OR SEMI-RECESSED FIRE EXTINGUISHER CABINET
- BRACKET MOUNTED KITCHEN FIRE EXTINGUISHER
- CEILING MOUNTED EXIT SIGN
- FIRE ALARM PULL (FAP) STATION
- NUMBER OF OCCUPANTS TRAVELING IN A CERTAIN DIRECTION EXISTING CONSTRUCTION

- ROOM NAME
- ROOM AREA IN SF
- OCCUPANT LOAD
- ROOM AREA IN SF
- ROOM OCCUPANT LOAD/ SF PER IBC TABLE 1004.1.2
- OCCUPANCY CLASSIFICATION PER IBC CHAPTER 3
- EXIT WIDTH (IN INCHES)
- EXIT CAPACITY (# PERSONS EXIT ALLOWS)
- OCCUPANT LOAD USING EXIT (# PERSONS)

**KEY PLAN**



SHEET ISSUE:

NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	MLC
B	03/08/24	GMP DEMO SET	MLC

GMP DEMO SET 03/08/24  
 PRINCIPAL IN CHARGE: MLC  
 PROJECT ARCHITECT: RPC  
 DRAWN BY: DC

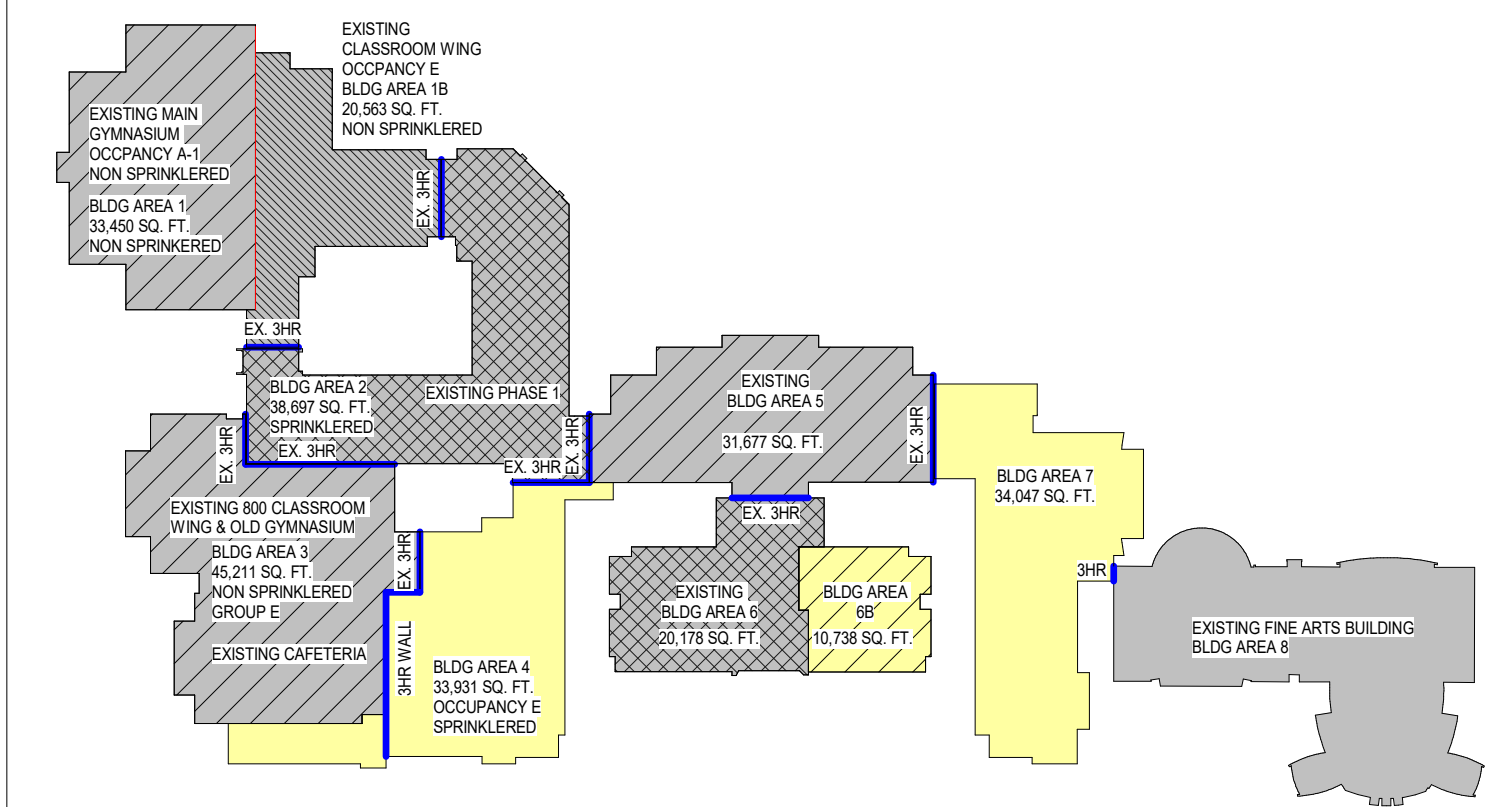
SHEET TITLE:  
**LIFE SAFETY PLAN DURING CONSTRUCTION- 1100 AREAS G & H**

PROJ. NO. 022652.00  
**AD-LS102**

NOT FOR CONSTRUCTION  
 FOR PRICING ONLY



FIRE AREAS - 1100 LEVEL



LIFE SAFETY LEGEND

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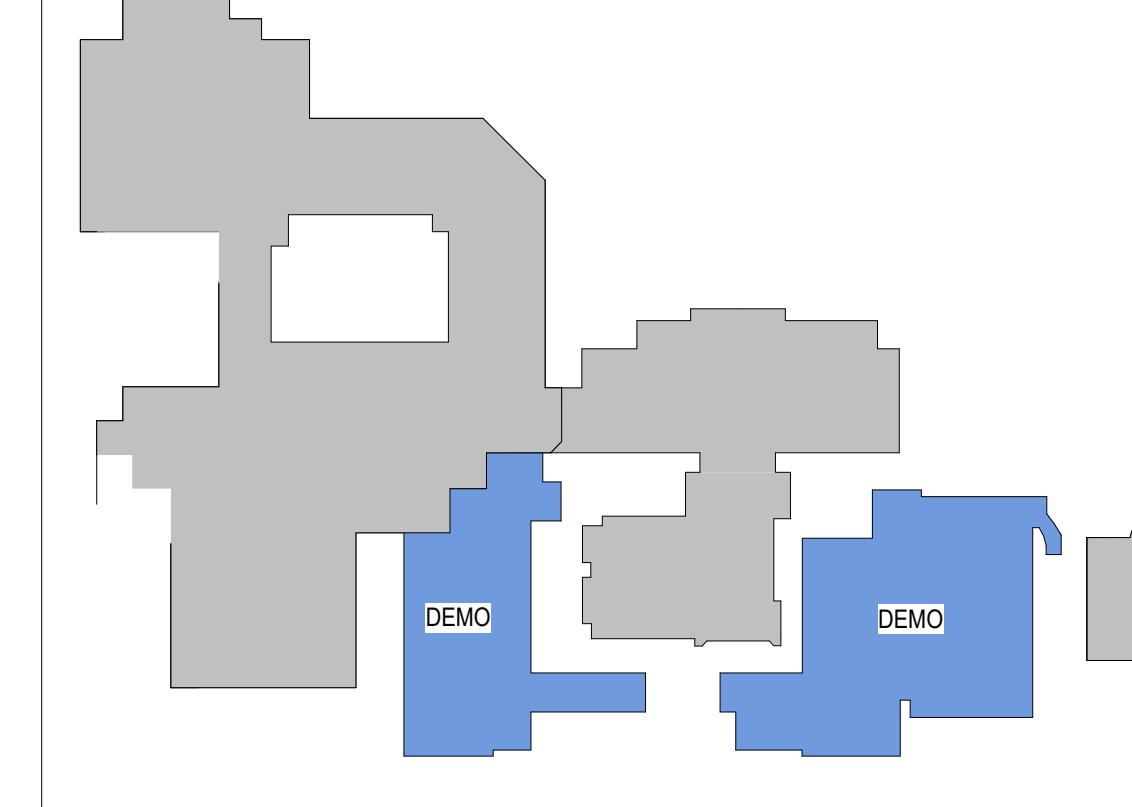
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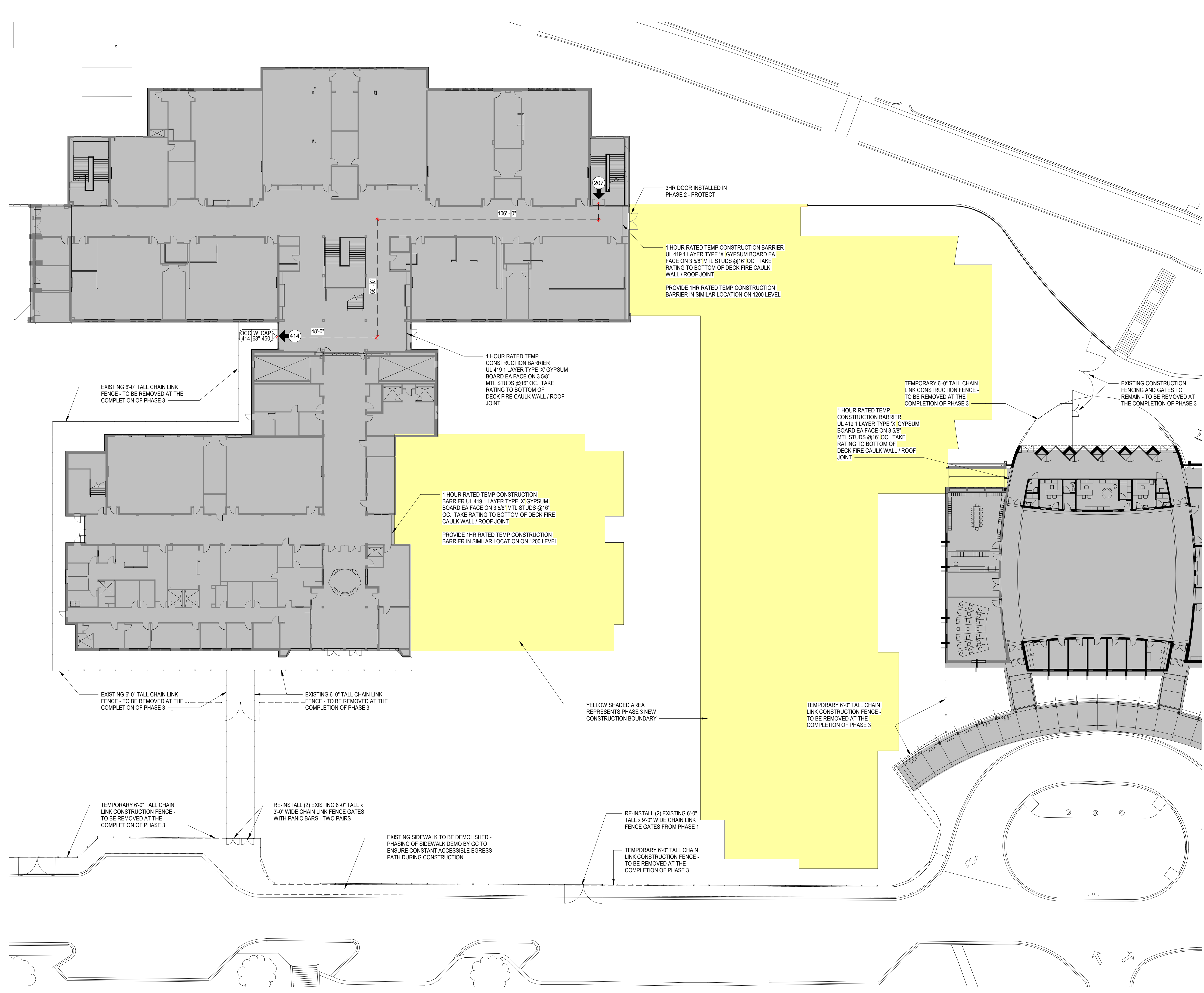
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KEY PLAN



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FOR PRICING ONLY

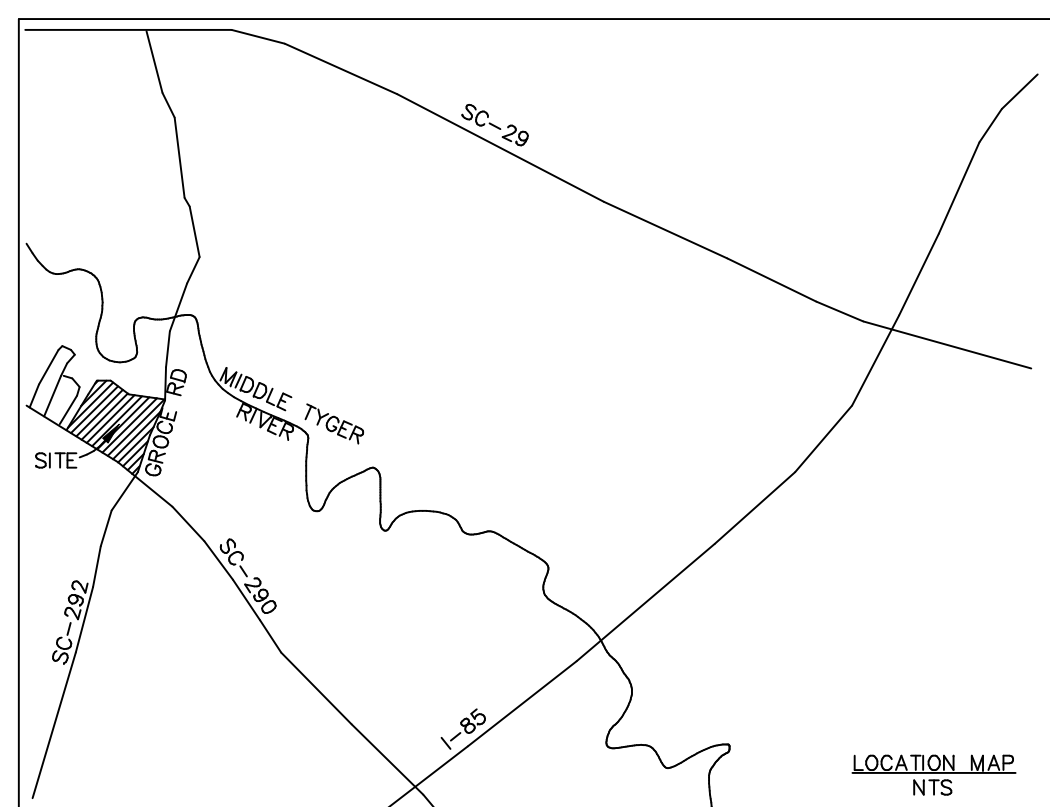
ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE IS PROHIBITED. MCMILLAN PAZDAN SMITH ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. MCMILLAN PAZDAN SMITH ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE DRAWINGS OR SPECIFICATIONS. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL LIABILITY INSURANCE COVERAGE. MCMILLAN PAZDAN SMITH ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE DRAWINGS OR SPECIFICATIONS. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL LIABILITY INSURANCE COVERAGE.



1100 LEVEL - LIFE SAFETY PLAN AREAS D, E & F

AD-LS103 3/64" = 1'-0"





YOU ARE REQUESTED TO CALL 811 AT LEAST 3 WORKING DAYS BEFORE YOU DIG  
<http://www.811.com>



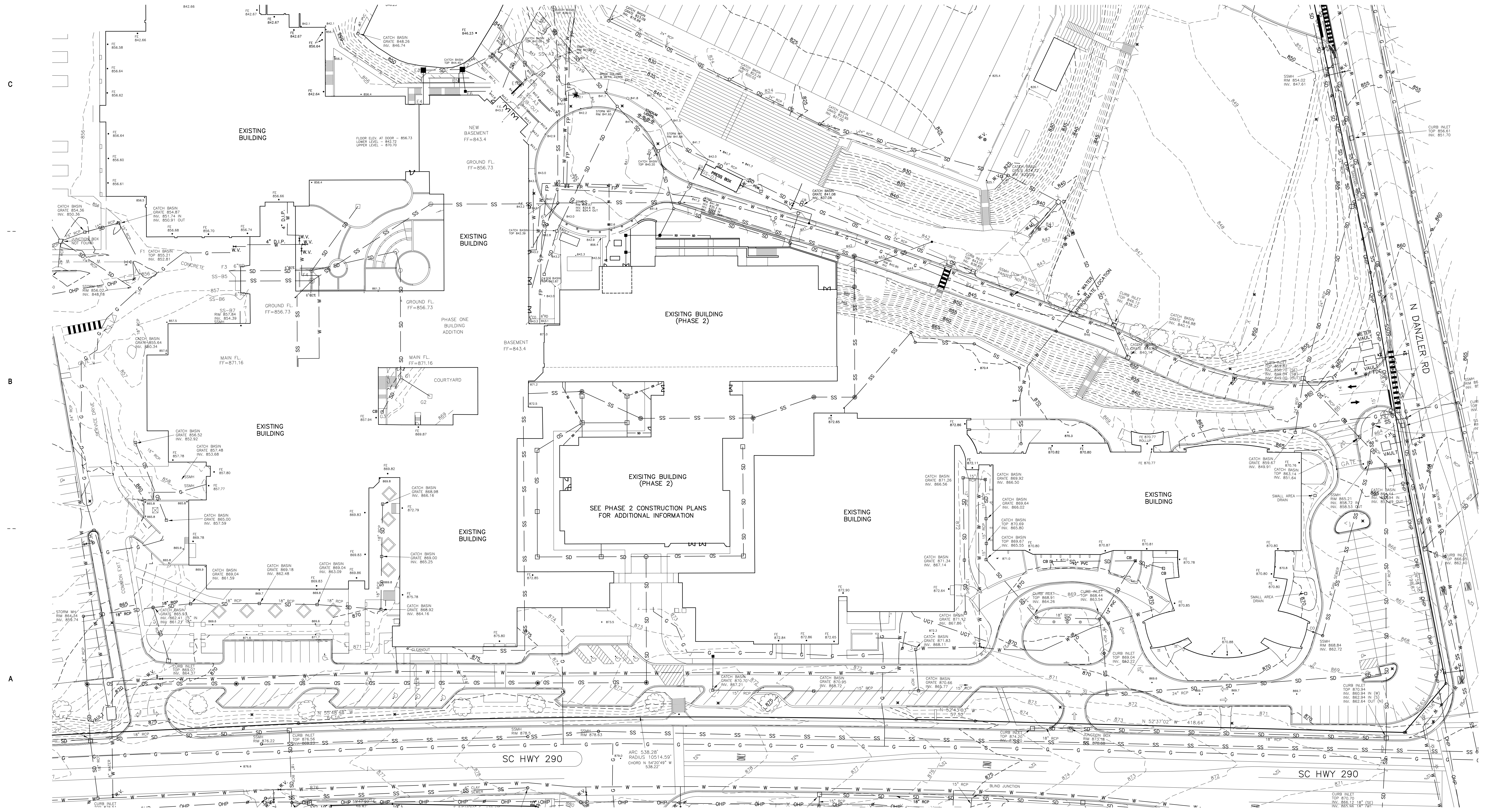
**GENERAL NOTES:**

- THIS TRACT CONTAINS 43.9 AC.  
BLOCK MAP: 5-20-06-024.00
- OWNER CONTACT: SPARTANBURG COUNTY SCHOOL DISTRICT FIVE  
DR. GREG WOOD  
PO BOX 307  
DUNCAN, SC 29334  
PHONE: (864) 949-2350
- CIVIL ENGINEER: BLACKWOOD ASSOCIATES INC.  
PO BOX 366  
SPARTANBURG, SC 29304  
PHONE: (864) 583-5432
- SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY  
LAVENDER, SMITH & ASSOCIATES, INC.  
LAND SURVEYORS & MAPPERS  
2900 EAST MAIN STREET  
SPARTANBURG, S.C. 29307

\*\*SURVEY AUGMENTED USING PHASE ONE AND PHASE TWO CONSTRUCTION DOCUMENTS

SCALE: 1" = 40'

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SPARTANBURG SCHOOL DISTRICT FIVE  
**JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION**  
 150 E. MAIN STREET  
 DUNCAN, SC 29334

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	WAB
B	03/08/24	GMP DEMO SET	WAB

PRINCIPAL IN CHARGE: WAB  
 PROJECT ENGINEER: WAB  
 DRAWN BY: WAB

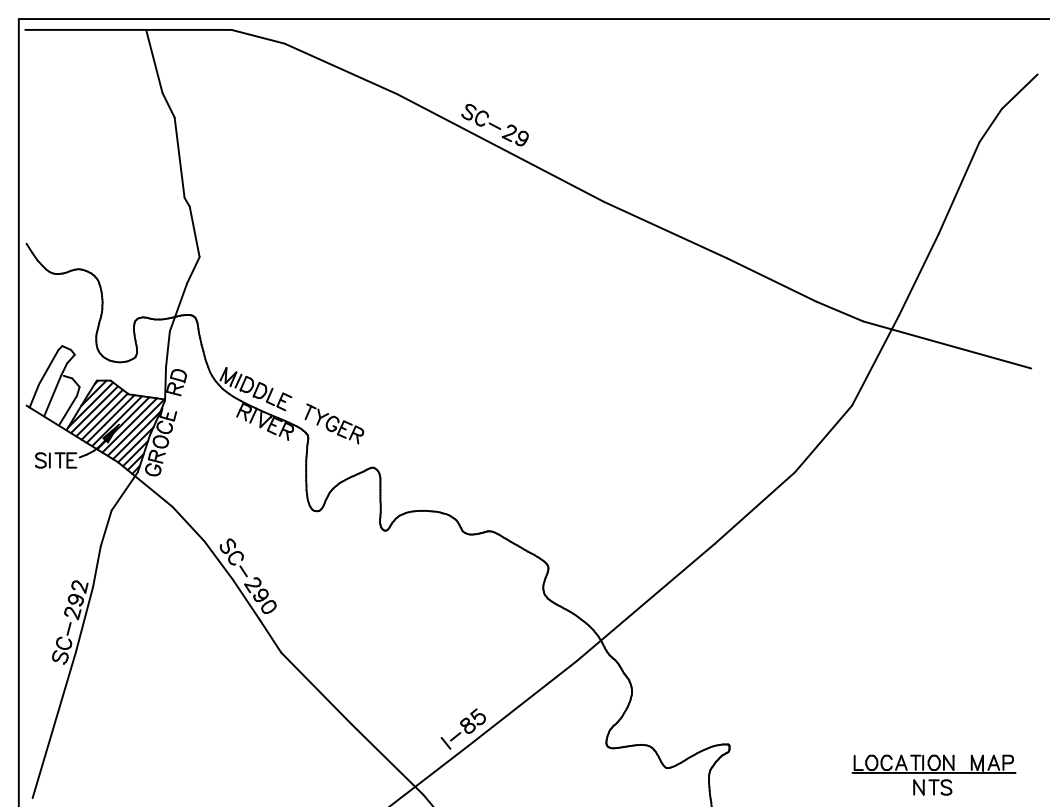
SHEET TITLE:  
**EXISTING  
 CONDITIONS**

SHEET NO. PROJ. NO.  
 22652.00

**CD1.1**

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**EROSION CONTROL LEGEND**

- SILT FENCE
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- INLET PROTECTION
- LIMITS OF DISTURBANCE
- PROVIDE CONCRETE WASHDOWN
- PROVIDE SANITARY FACILITY
- PROVIDE CONST. DEBRIS ENCLOSURE

**SITE CONSTRUCTION NOTES**

- COORDINATE LOCATION OF FOLLOWING ITEMS WITH SPARTANBURG COUNTY INSPECTORS.
- ALL LITTER, TRASH AND CONSTRUCTION DEBRIS SHALL BE COLLECTED, STORED AND DISPOSED OF IN ACCORDANCE WITH SCDEC SOLID WASTE REGULATIONS. PROVIDE TEMPORARY 4' TALL HOGWIRE - 10' X10' SQUARE STORAGE AREA.
  - PROVIDE TEMPORARY SANITARY FACILITIES SHALL BE LOCATED ON A FLAT SURFACE AWAY FROM DRAINAGE FACILITIES, CATCH BASINS, WATERCOURSES AND TRAFFIC CIRCULATION. UPON DISCOVERY, ANY SPILLED MATERIAL SHALL BE CLEANED UP IMMEDIATELY. ALL COLLECTED MATERIAL, CONTAMINATED RAGS AND ABSORBENT MATERIALS SHALL BE DISPOSED OF APPROPRIATELY. LIME SHALL BE SPREAD ON THE CONTAMINATED AREA.
  - CEMENT WASTE AND WASHOUT SHALL NOT BE ALLOWED TO DISCHARGE TO STORM DRAINS, DETENTION PONDS OR WATER COURSES. BE COLLECTED IN A DEPRESSED BERMED AREA AND ALLOWED TO HARDEN. IT SHALL NOT BE ALLOWED TO DISCHARGE TO STORM DRAINS, STORM WATER DETENTION FACILITIES OR WATERCOURSES. PROVIDE 10" DIAMETER - 8" MULCH TUBE TO CONTAIN CONCRETE WASHOUT

**INLET PROTECTION NOTE**

ALL CATCH BASINS WITHIN PROJECT AREA OR RECEIVING STORMWATER FROM THE AREA SHALL HAVE INLET PROTECTION INSTALLED & MAINTAINED.

INLETS IN PAVED AREAS: SEDIMENT TUBE STYLE  
 INLETS IN DISTURBED AREAS: WIRE & MESH STYLE  
 COVERT WIRE & MESH TO SEDIMENT TUBE FOR BASINS IN PAVED AREAS ONCE STONE BASE INSTALLED

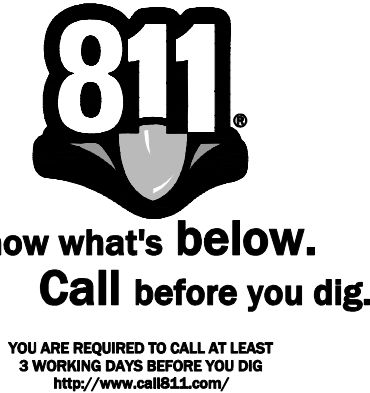
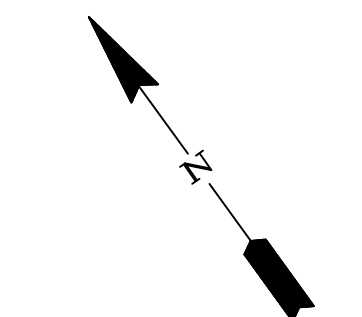
**CONSTRUCTION ENTRANCE NOTE**

CONTRACTOR SHALL INSTALL A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AT ALL LOCATIONS THAT A PATH FROM DISTURBED SOIL TO PAVEMENT IS CREATED. THREE REQUIRED AT A MINIMUM.

**EROSION CONTROL SEQUENCE OF EVENTS**

- RECEIVE NPDES COVERAGE FROM SCDEC.
- HAVE PRE-CONSTRUCTION MEETING ON-SITE.
- NOTIFY SPARTANBURG COUNTY ENGINEERING 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- PHASE I: INITIAL EROSION CONTROL (CV1.2)**
  - DEMOLITION ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS (EG. SILT FENCE AND CONSTRUCTION ENTRANCE)
  - INSTALL PERIMETER CONTROLS AND INLET PROTECTION (EXISTING BASINS).
  - BEGIN SELECT DEMOLITION.
- PHASE II: DEMOLITION & UTILITY INSTALLATION (CV1.2 & CV2.1)**
  - CONTINUE & COMPLETE DEMOLITION.
  - INSTALL NEW STORM DRAINAGE.
  - PLACE INLET PROTECTION AROUND ALL CATCH BASINS.
  - COMPLETE REMAINING DEMOLITION AND SITE UTILITIES.
- PHASE III: STABILIZATION (CV2.1)**
  - APPLY GRASSING IN ACCORDANCE WITH GRASS NOTES.
  - INSPECT AND MAINTAIN ALL EROSION CONTROL AS INDICATED IN GRADING NOTES.
  - PERMANENT GRASS SHALL BE INSTALLED FOR ALL AREAS AT FINAL GRADE AND IN SEASON INDICATED ON GRASS NOTES.
  - AFTER COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED:
    - REMOVE ALL ACCUMULATED SEDIMENT FROM SEDIMENT TRAPPING MEASURES AND SPREAD EVENLY ACROSS THE SITE.
    - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, STORM AREAS AND APPLY GRASSING PER GRASS NOTES/SPECIFICATIONS.
  - SUBMIT THE NOTICE OF TERMINATION TO SPARTANBURG COUNTY.

SCALE: 1" = 40'



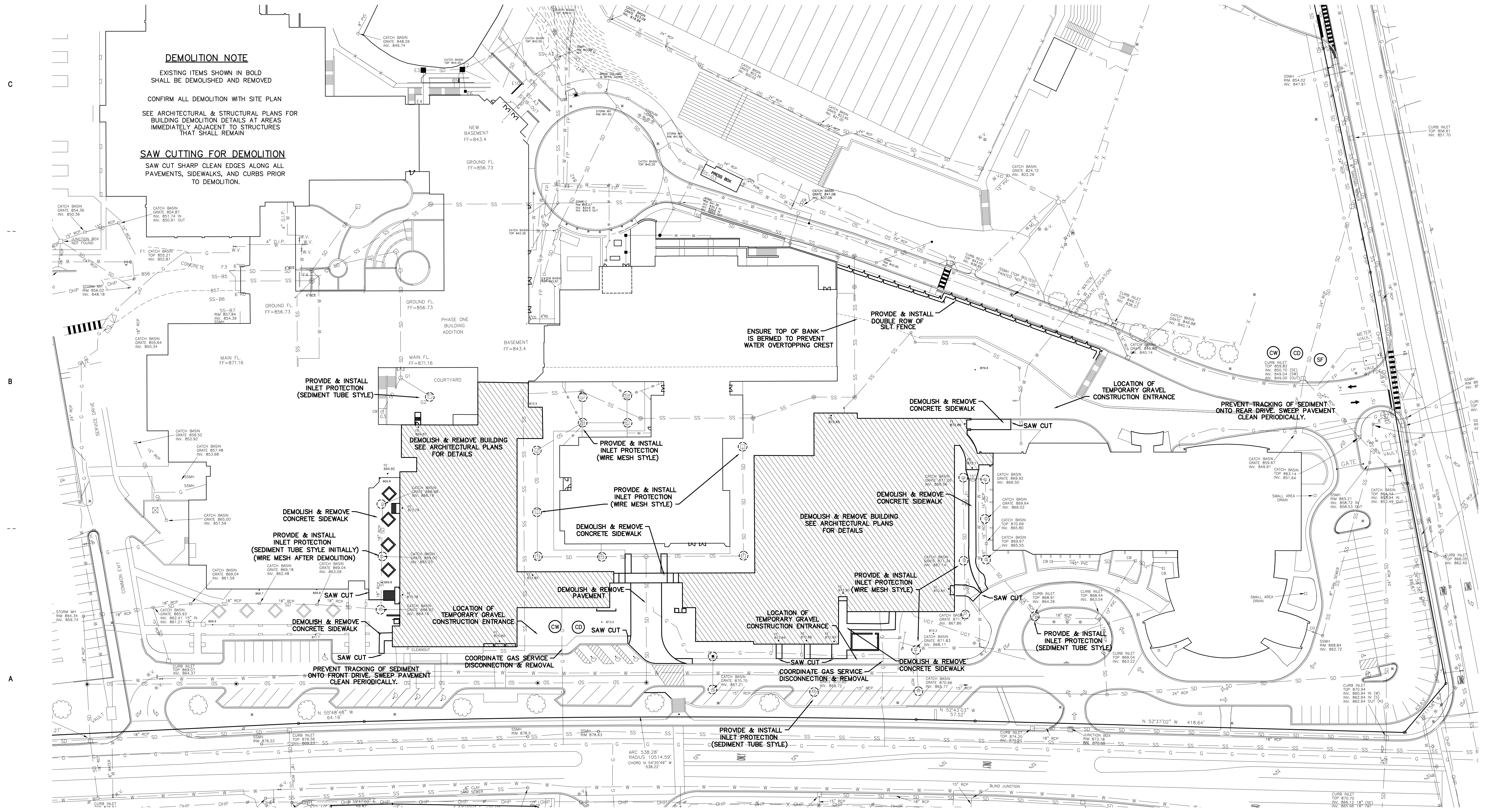
**DEMOLITION NOTE**

EXISTING ITEMS SHOWN IN BOLD SHALL BE DEMOLISHED AND REMOVED

CONFIRM ALL DEMOLITION WITH SITE PLAN  
 SEE ARCHITECTURAL & STRUCTURAL PLANS FOR BUILDING DEMOLITION DETAILS AT AREAS IMMEDIATELY ADJACENT TO STRUCTURES THAT SHALL REMAIN

**SAW CUTTING FOR DEMOLITION**

SAW CUT SHARP CLEAN EDGES ALONG ALL PAVEMENTS, SIDEWALKS, AND CURBS PRIOR TO DEMOLITION.



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**SITE PREP & DEMOLITION PLAN**

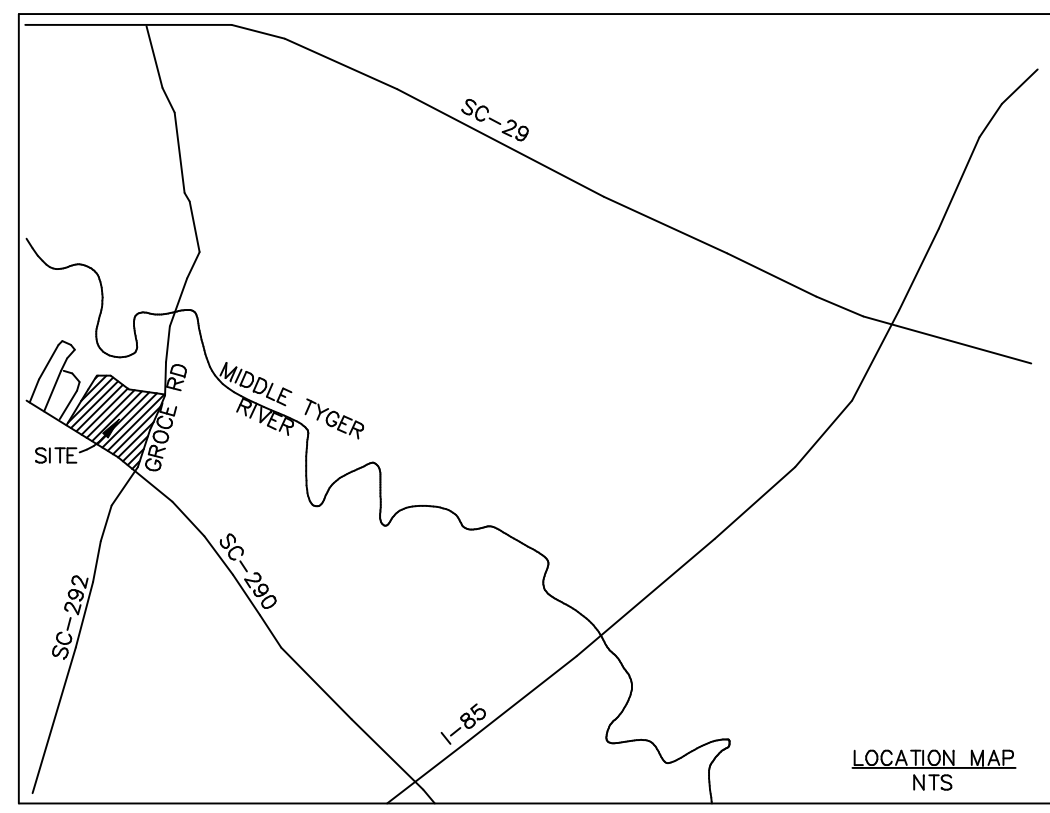
SHEET NO. PROJ. NO. 022652.00

**CD1.2**

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**HATCHING LEGEND**

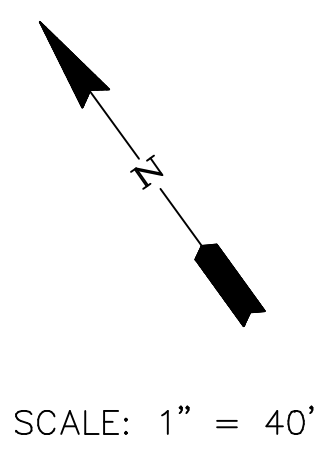
CONCRETE (SIDEWALKS, PADS, ETC)

**GENERAL SITE NOTES**

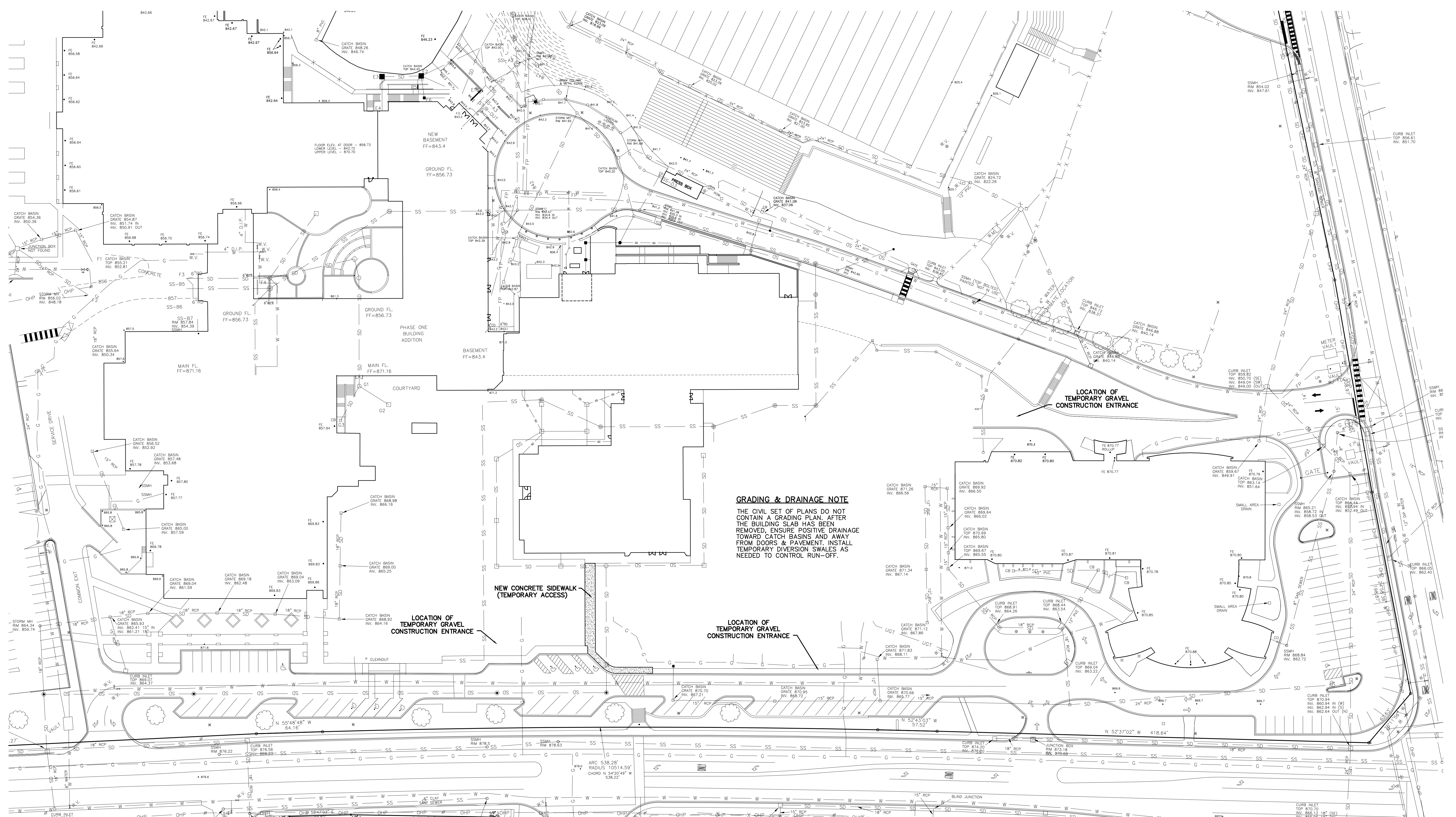
- CONTRACTOR SHALL IDENTIFY THE LOCATION AND ELEVATIONS OF ALL UTILITIES ON SITE BEFORE CONSTRUCTION.
- ANY DISCREPANCIES FROM THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

**SITE SPECIFICATIONS & NOTES**

- CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATION. ADVISE ENGINEER IMMEDIATELY OF ANY VARIATIONS. ALL EXCAVATIONS NEAR THESE LINES SHALL BE WITH CAUTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION WHICH AFFECTS NEW CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE DURING CONSTRUCTION AND/OR RELOCATION AS NECESSARY AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY ALL WORK PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. DISCONTINUE WORK IN ALL AFFECTED AREAS UNTIL RESOLVED BY ENGINEER.
- EARTHWORK SHALL BE TO THE LINES AND GRADES SHOWN. THE CONTRACTOR SHALL PROOF-ROLL THE CONSTRUCTION AREA WITH HEAVY-PNEUMATIC EQUIPMENT. ALL SOFT SPOTS SHALL BE UNDERCUT AND RECOMPACTED WITH SUITABLE STRUCTURAL FILL MATERIAL. ALL FILL COMPACTION SHALL BE 95% OF MAXIMUM PER ASTM D-698 (STANDARD PROCTOR). ALL MATERIAL WITHIN 18 INCHES OF PAVEMENT AND BUILDING SUBGRADE SHALL BE COMPACTED TO 98% OF MAXIMUM. FILL MATERIAL SHALL NOT CONTAIN ORGANIC MATERIAL, DEBRIS OR ROCKS. WHERE FILL IS TO BE PLACED, ALL EXISTING VEGETATION, ROOTS AND OTHER ORGANIC MATTER DOWN TO 12 INCHES BELOW EXISTING GRADE SHALL BE STRIPPED AND DISPOSED OF AS DIRECTED. FILL SHALL BE PLACED IN SUCCESSIVE LAYERS OF NOT MORE THAN 8 INCHES LOOSE THICKNESS. EACH LAYER SHALL BE SPREAD EVENLY AND COMPACTED AS SPECIFIED BEFORE THE NEXT LAYER IS PLACED.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS INCLUDING PAVEMENT, CONCRETE, AND UNSUITABLE MATERIAL FROM THE SITE. ALL AREAS UNDER EXISTING PAVEMENT SHALL BE SCARIFIED BEFORE PLACING STRUCTURAL FILL MATERIAL.



**BLACKWOOD ASSOCIATES INC.**  
CONSULTING ENGINEERS  
PO BOX 366  
SPARTANBURG, SC 29304  
864-583-5432 FAX-583-5434



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PROJECT ENGINEER: WAB  
DRAWN BY: WAB

**SITE PLAN**

SHEET NO. PROJ. NO.  
CD2.1 022652.00





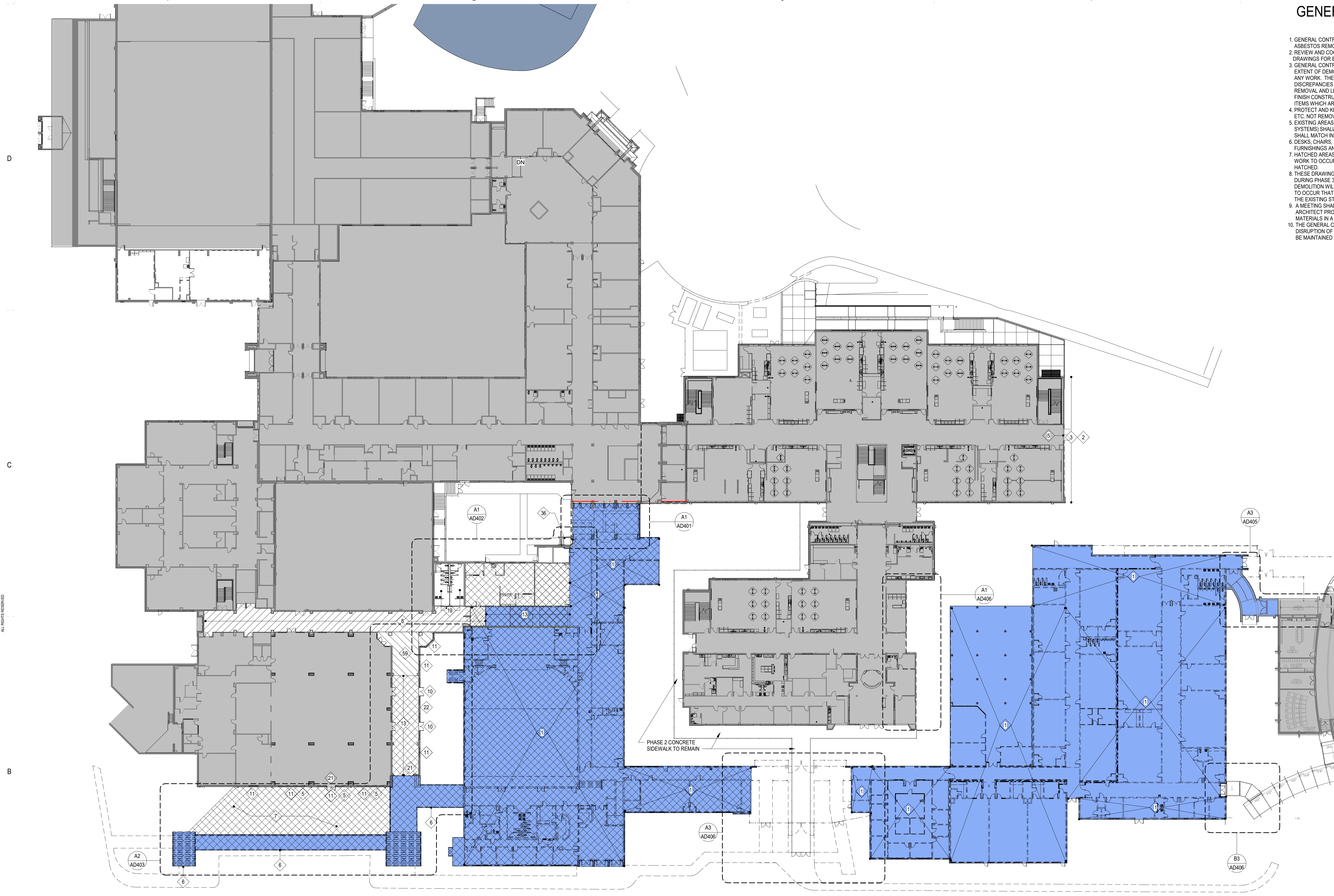


GENERAL DEMOLITION NOTES



- GENERAL CONTRACTOR TO REPORT DISCOVERY OF ANY ASBESTOS RELATED MATERIAL TO ARCHITECT. ASBESTOS REMOVAL IS NOT WITHIN THE SCOPE OF THIS CONTRACT.
- REVIEW AND COORDINATE STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR EXTENT OF DEMOLITION.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEMOLITION ITEMS. THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. REPORT ANY DISCREPANCIES IN EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO DEMOLITION. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISH CONSTRUCTION PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE NEW CONSTRUCTION.
- PROTECT AND KEEP CLEAN THE OWNER'S EXISTING PROPERTY (EXISTING CARPETS, VCT, MILLWORK, ETC.) NOT REMOVED AS PART OF THE DEMOLITION.
- EXISTING AREAS DAMAGED BY CONSTRUCTION ACTIVITIES (I.E. NEW HVAC, ELECTRICAL, PLUMBING SYSTEMS) SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS PRIOR TO DAMAGE. NEW FINISHES SHALL MATCH IN MATERIAL, COLOR, TEXTURE, AND PROFILE TO THE ADJACENT EXISTING CONDITIONS.
- DESKS, CHAIRS, TABLES, PAPERS, POSTERS, BOOKS, MAPS, FANS AND OTHER SUCH LOOSE EQUIPMENT, FURNISHINGS AND SUPPLIES SHALL BE REMOVED BY THE OWNER.
- HATCHED AREAS IN THE DEMOLITION PLANS REPRESENT WALLS OR ITEMS TO BE DEMOLISHED. NO WORK TO OCCUR IN AREAS OUTSIDE OF THE BOUNDARY OF CONSTRUCTION NOR IN THE AREAS NOT HATCHED.
- THESE DRAWINGS SHOW ITEMS TO BE DEMOLISHED FOR THIS PROJECT BEFORE THE START AND DURING PHASE 3 CONSTRUCTION. THE GENERAL CONTRACTOR WILL SCHEDULE/SEQUENCE WHEN THE DEMOLITION WILL OCCUR, DEPENDING ON THE SCHEDULE ADDITIONAL CONSTRUCTION MAY BE NEEDED TO OCCUR THAT IS NOT SHOWN IN THE DOCUMENTS THAT IS NEEDED TO PROTECT AND/OR SECURE THE EXISTING STRUCTURE.
- A MEETING SHALL BE HELD, PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK, BETWEEN THE ARCHITECT PROJECT MANAGER AND THE GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF MATERIALS IN A MANNER THAT WILL AFFECT THE OWNER'S ONGOING OPERATIONS THE LEAST.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES INCLUDING LIFE SAFETY SYSTEMS. EXISTING LIFE SAFETY SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. CONSULTANT LOGO AND SEAL ARE THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ALL RIGHTS RESERVED.



B1 1100 LEVEL - OVERALL DEMOLITION PLAN  
AD400 1" = 30'-0"

SPARTANBURG SCHOOL DISTRICT FIVE  
JAMES F. BYRNES HIGH SCHOOL  
PHASE 3 DEMOLITION  
150 E. MAIN STREET  
DUNCAN, SC 29304

SHEET ISSUE:				
NO.	DATE	DESCRIPTION	BY	MLC
A	09/15/23	DD PRICING SET	MLC	
B	03/08/24	GMP DEMO SET	MLC	

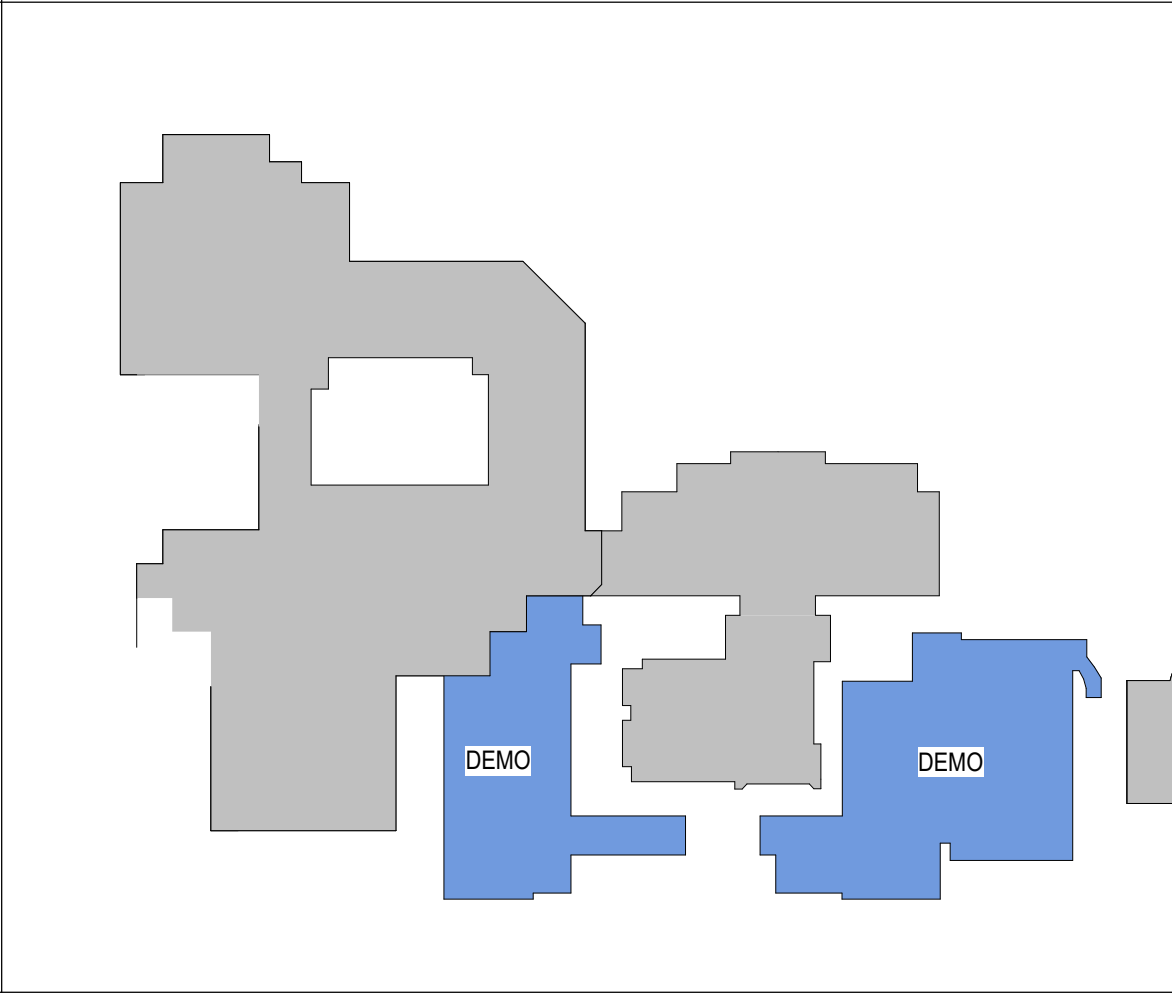
GENERAL DEMOLITION KEYNOTES

- |  |  |   |   |  |
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|--|--|---|---|--|

DEMOLITION LEGEND

- EXISTING BUILDING TO REMAIN
- GENERAL CONTRACTOR TO DEMOLISH EXISTING BUILDING IN AREAS INDICATED BY HATCH. WHERE A WALL TO BE REMOVED ABUTS AN EXISTING WALL THAT REMAINS, CLEAN MORTAR FROM EXISTING WALL. REMOVE ALL ANCHORS AND SUPPORTS AND REPLACE ANY MASONRY UNITS THAT ARE DAMAGED. POINT UP ALL JOINTS SO THAT FINISHED WALL DOES NOT SHOW EVIDENCE OF OLD JOINT. DO NOT REMOVE WALLS AT BORDER OF HATCH.
- EXISTING CONCRETE SLAB TO BE DEMOLISHED
- EXISTING CONCRETE SLAB TO REMAIN
- EXISTING VCT AND WALL BASE TO BE REMOVED
- EXISTING TILE AND SETTING BED TO BE REMOVED
- LOCATION OF EXISTING 3-HR AND/OR 4-HR FIREWALLS

KEY PLAN



NOT FOR CONSTRUCTION  
FOR PRICING ONLY

GMP DEMO SET 03/08/24  
PRINCIPAL IN CHARGE: MLC  
PROJECT ARCHITECT: RPC  
DRAWN BY: RPC  
DC

SHEET TITLE:  
**1100 LEVEL - OVERALL DEMOLITION PLAN**

SHEET NO. PROJ. NO. 022652.00  
**AD400**



GENERAL DEMOLITION NOTES

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CONSULTANT LOGO

SEALS

SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION  
 150 E. MAIN STREET  
 DUNCAN, SC 29504

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	MLC
B	03/08/24	GMP DEMO SET	MLC

GMP DEMO SET 03/08/24

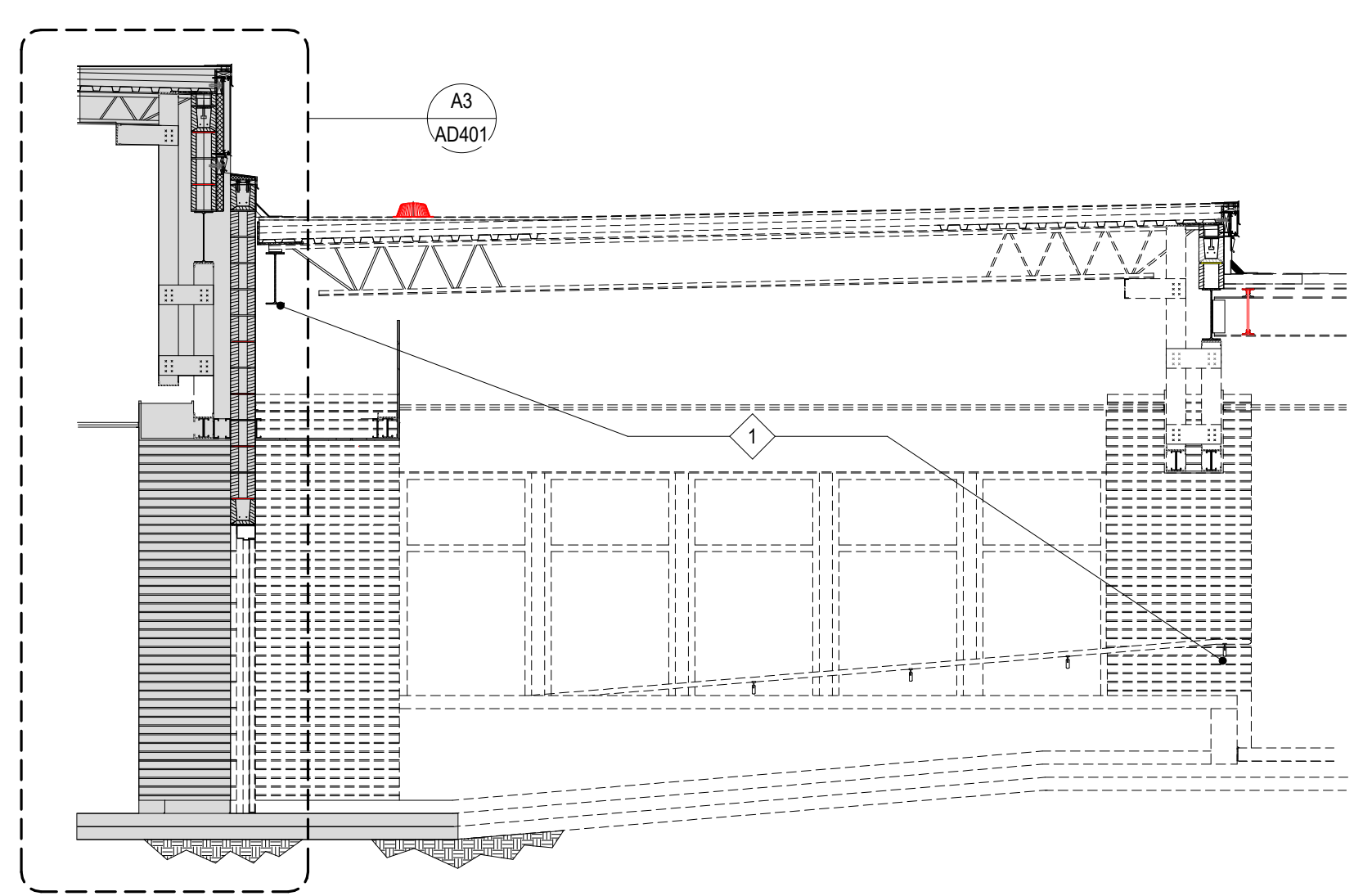
PRINCIPAL IN CHARGE: MLC  
 PROJECT ARCHITECT: RPC  
 DRAWN BY: RPC

SHEET TITLE:  
**ENLARGED DEMOLITION  
 PLANS AND WALL  
 SECTIONS**

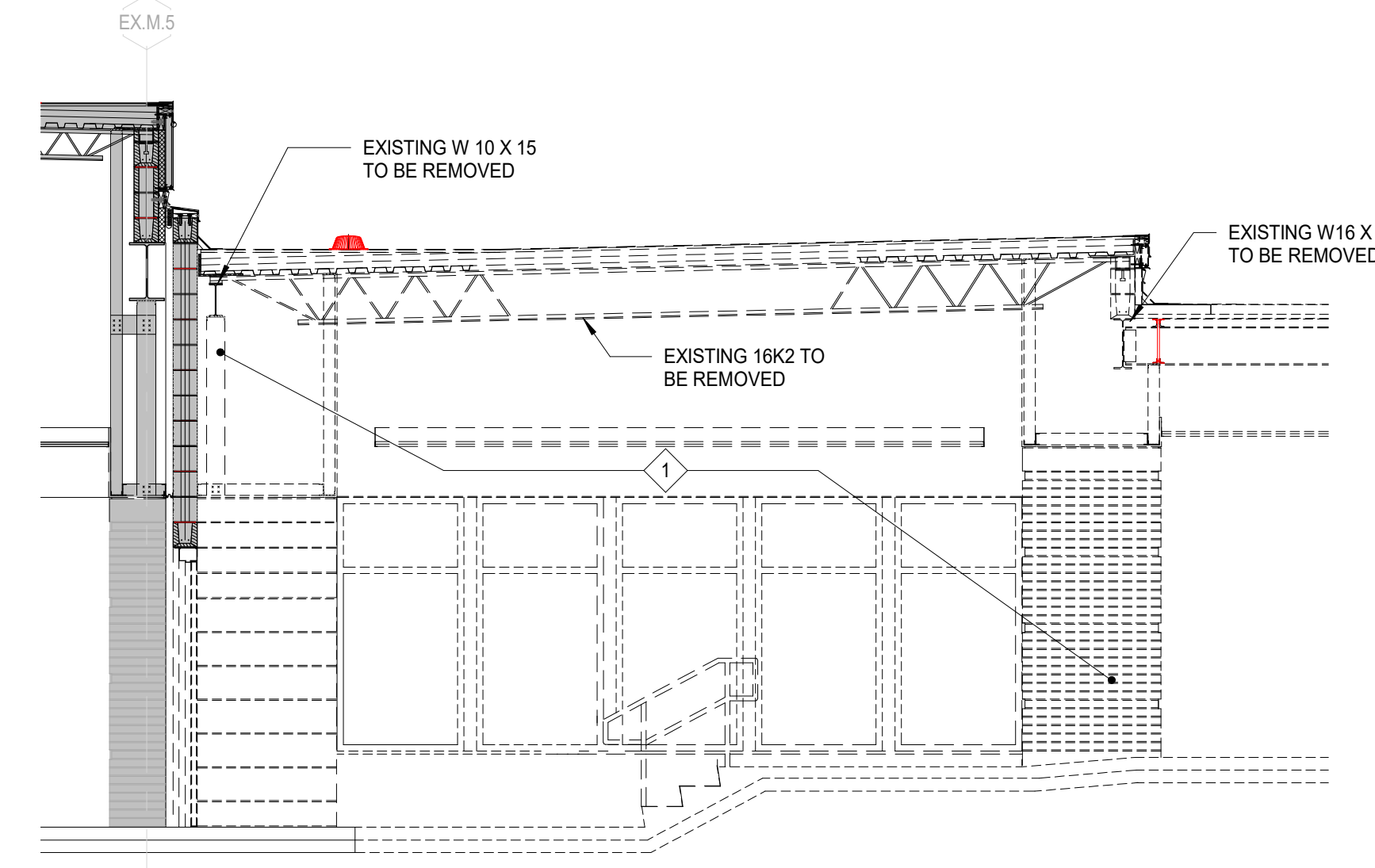
SHEET NO. PROJ. NO.  
 AD401 022652.00

AD401

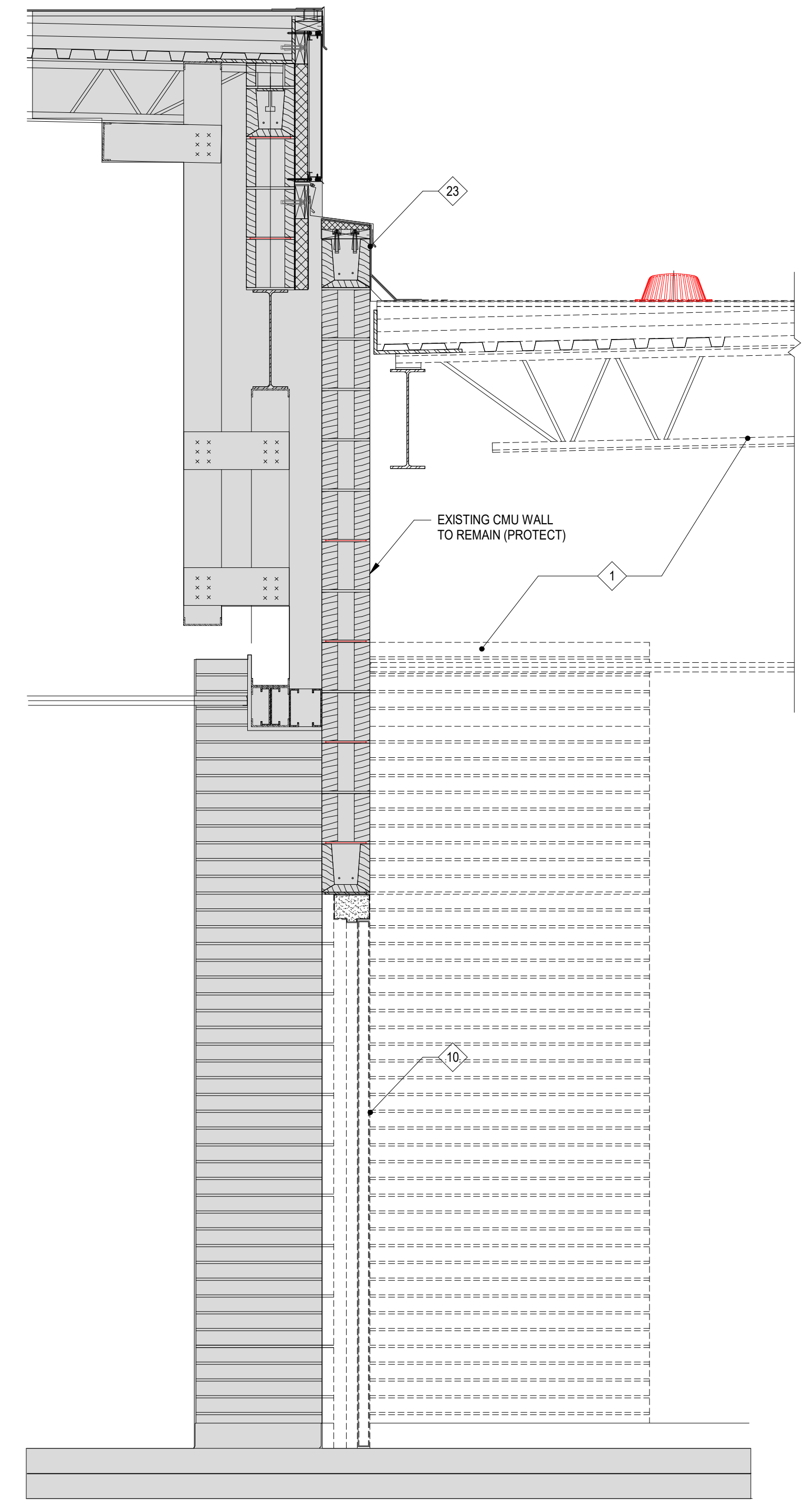
NOT FOR CONSTRUCTION  
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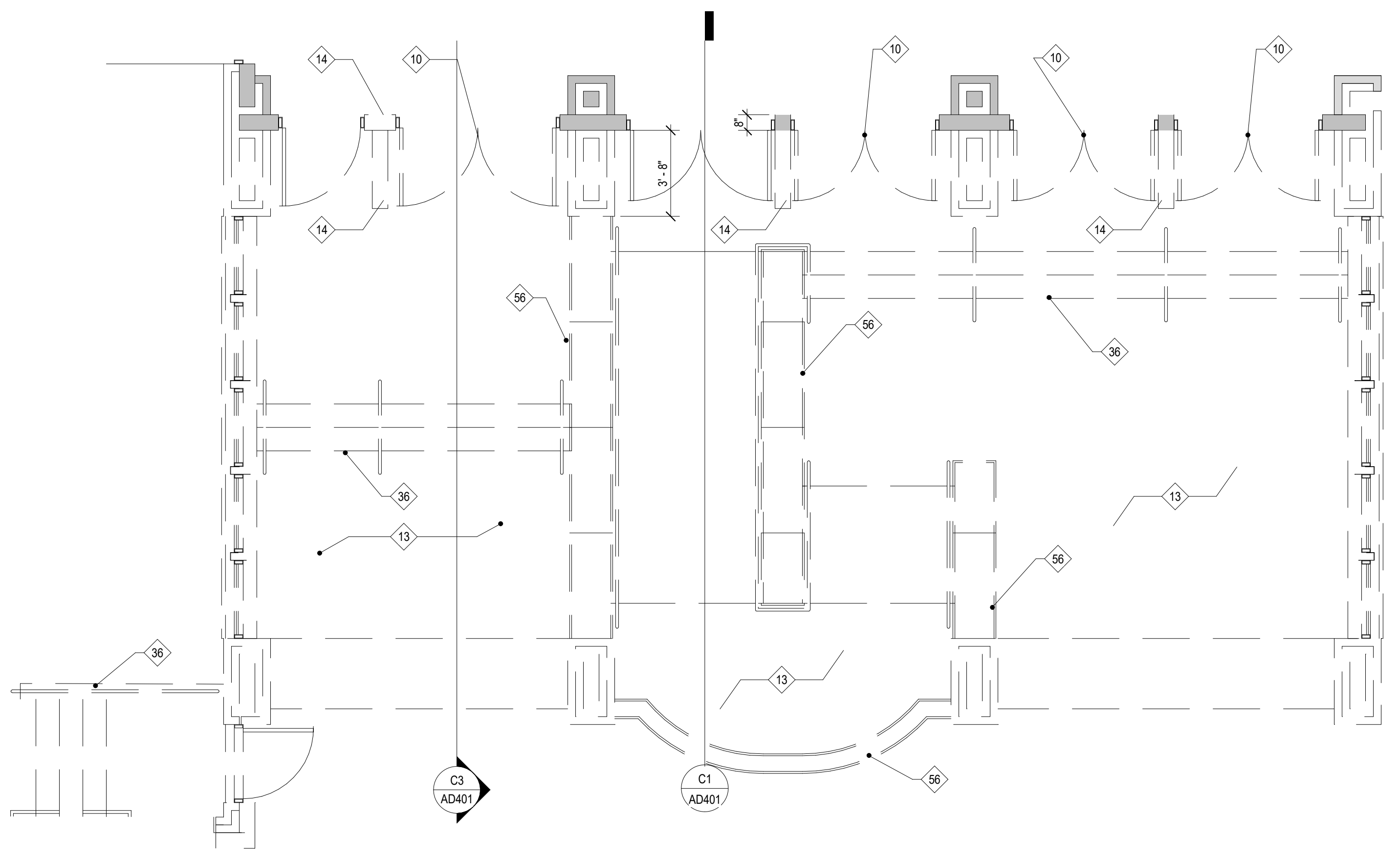
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A3 AD401 3/4" = 1'-0"



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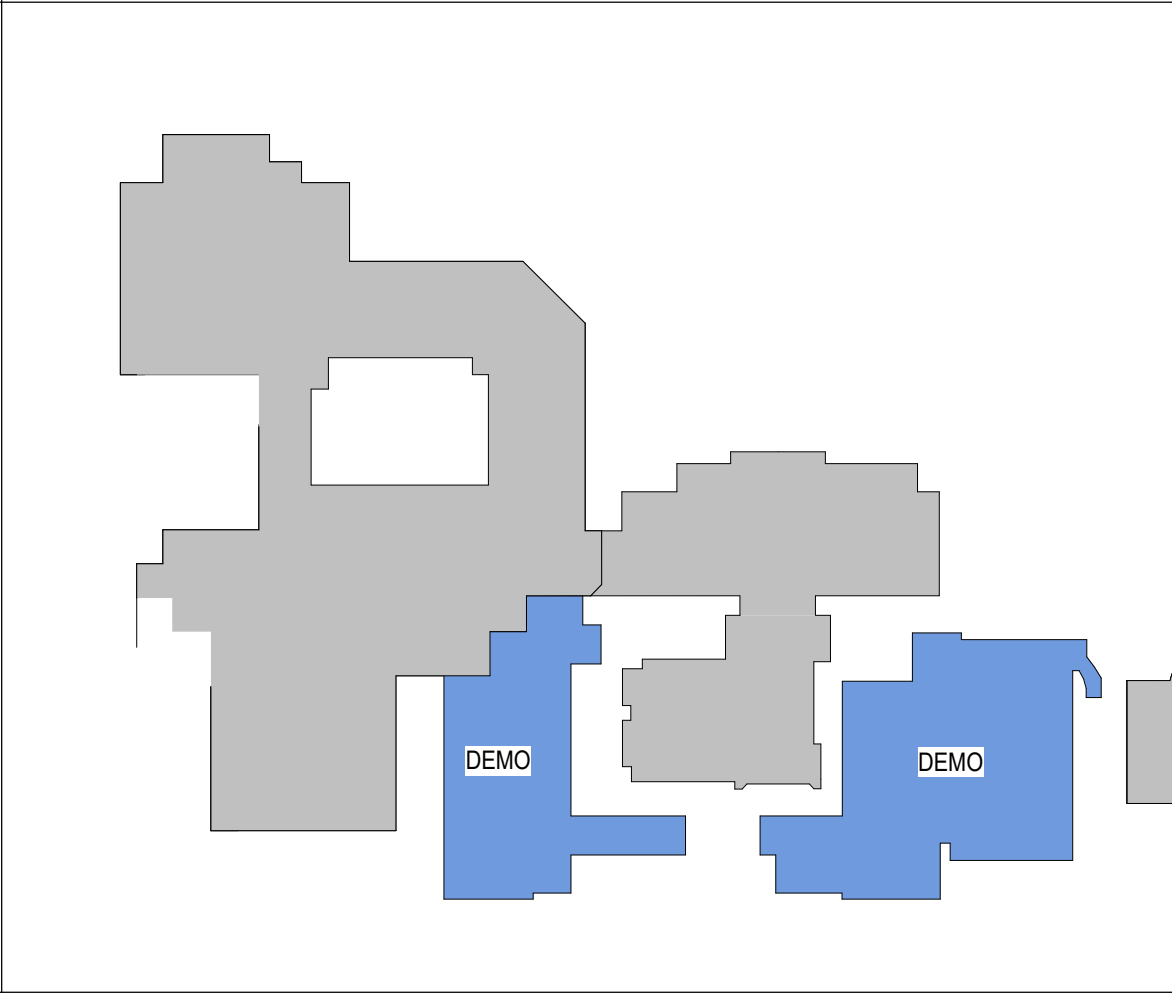
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- LOCATION OF EXISTING 3-HR AND/OR 4-HR FIREWALLS

KEY PLAN



ALL DRAWINGS, SPECIFICATIONS AND NOTES OF THIS PROJECT ARE THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE DRAWINGS, SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THIS PROJECT IS THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. SUBMISSION OF THIS PROJECT TO ANY OTHER PARTY IS NOT TO BE CONSIDERED AN ENDORSEMENT OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ALL RIGHTS RESERVED.



GENERAL DEMOLITION NOTES

- GENERAL CONTRACTOR TO REPORT DISCOVERY OF ANY ASBESTOS RELATED MATERIAL TO ARCHITECT. ASBESTOS REMOVAL IS NOT WITHIN THE SCOPE OF THIS CONTRACT.
- REVIEW AND COORDINATE STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR EXTENT OF DEMOLITION.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEMOLITION ITEMS. THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. PRIOR TO BIDDING AND COMMENCING ANY WORK, THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. REPORT ANY DISCREPANCIES IN EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO DEMOLITION. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISH CONSTRUCTION PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE NEW CONSTRUCTION.
- PROTECT AND KEEP CLEAN THE OWNER'S EXISTING PROPERTY (EXISTING CARPETS, VCT, MILLWORK, ETC.) NOT REMOVED AS PART OF THE DEMOLITION.
- EXISTING AREAS DAMAGED BY CONSTRUCTION ACTIVITIES (I.E. NEW HVAC, ELECTRICAL, PLUMBING SYSTEMS) SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS PRIOR TO DAMAGE. NEW FINISHES SHALL MATCH IN MATERIAL, COLOR, TEXTURE AND PROFILE TO THE ADJACENT EXISTING CONDITIONS.
- DESKS, CHAIRS, TABLES, PAPERS, POSTERS, BOOKS, MAPS, FANS AND OTHER SUCH LOOSE EQUIPMENT, FURNISHINGS AND SUPPLIES SHALL BE REMOVED BY THE OWNER.
- HATCHED AREAS IN THE DEMOLITION PLANS REPRESENT WALLS OR ITEMS TO BE DEMOLISHED. NO WORK TO OCCUR IN AREAS OUTSIDE OF THE BOUNDARY OF CONSTRUCTION NOR IN THE AREAS NOT HATCHED.
- THESE DRAWINGS SHOW ITEMS TO BE DEMOLISHED FOR THIS PROJECT BEFORE THE START AND DURING PHASE 3 CONSTRUCTION. THE GENERAL CONTRACTOR WILL SCHEDULE SEQUENCE WHEN THE DEMOLITION WILL OCCUR, DEPENDING ON THE SCHEDULE ADDITIONAL CONSTRUCTION MAY BE NEEDED TO OCCUR THAT IS NOT SHOWN IN THE DOCUMENTS THAT IS NEEDED TO PROTECT AND/OR SECURE THE EXISTING STRUCTURE.
- A MEETING SHALL BE HELD, PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK, BETWEEN THE ARCHITECT PROJECT MANAGER AND THE GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF MATERIALS IN A MANNER THAT WILL AFFECT THE OWNER'S ONGOING OPERATIONS THE LEAST.
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CONSULTANT LOGO

SEALS

SPARTANBURG SCHOOL DISTRICT FIVE  
JAMES F. BYRNES HIGH SCHOOL  
PHASE 3 DEMOLITION

150 E. MAIN STREET  
DUNCAN, SC 29504

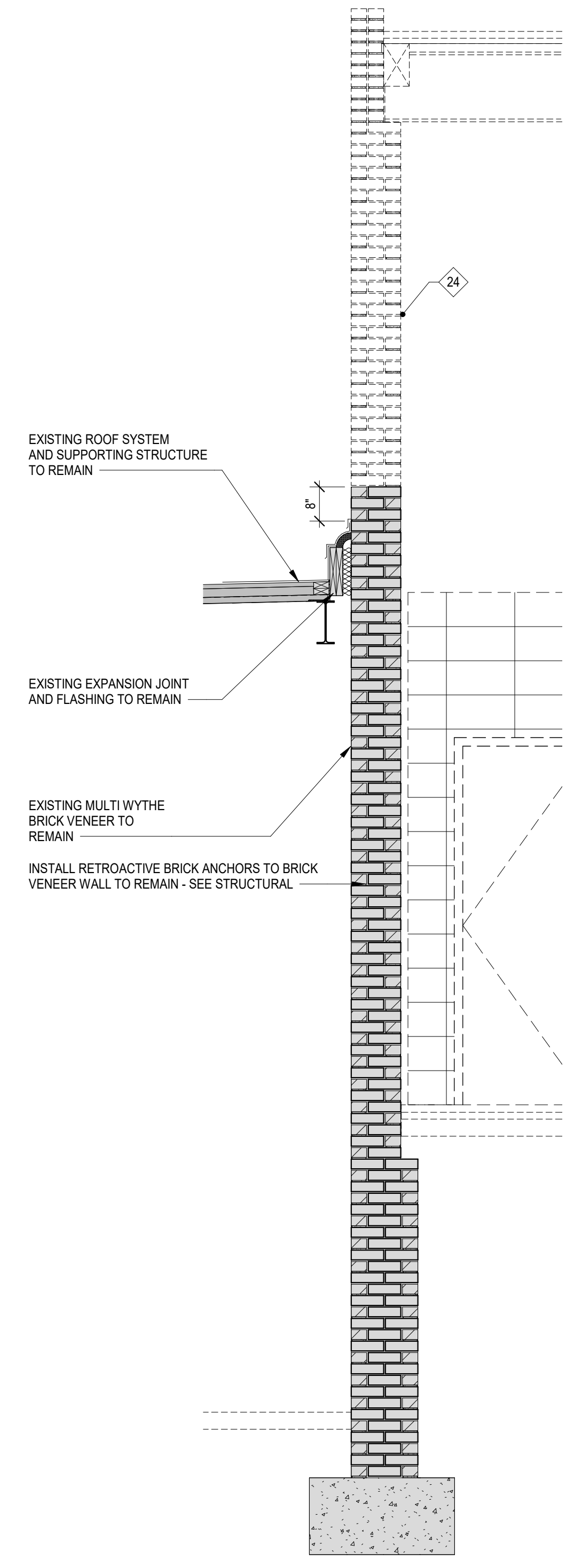
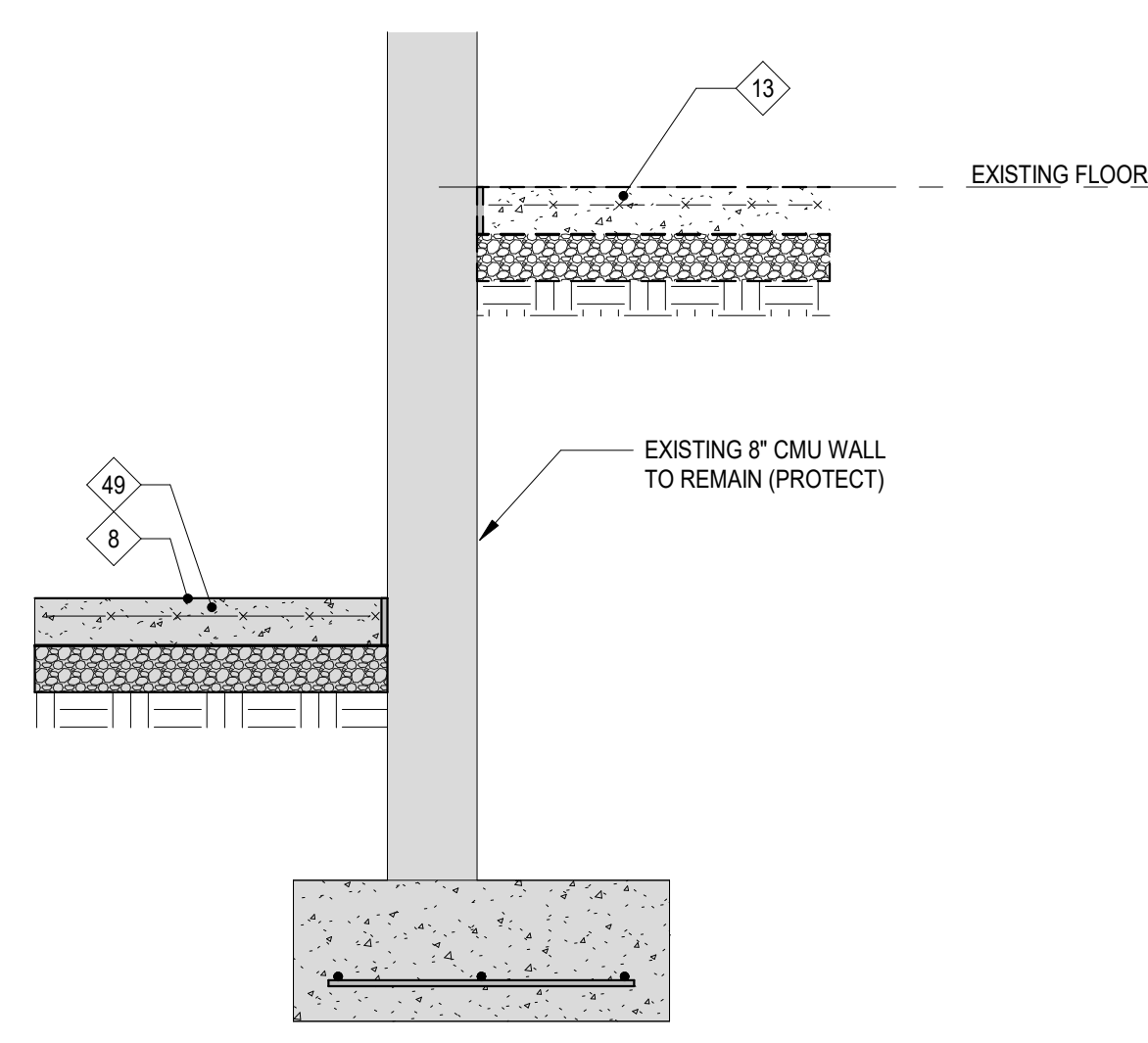
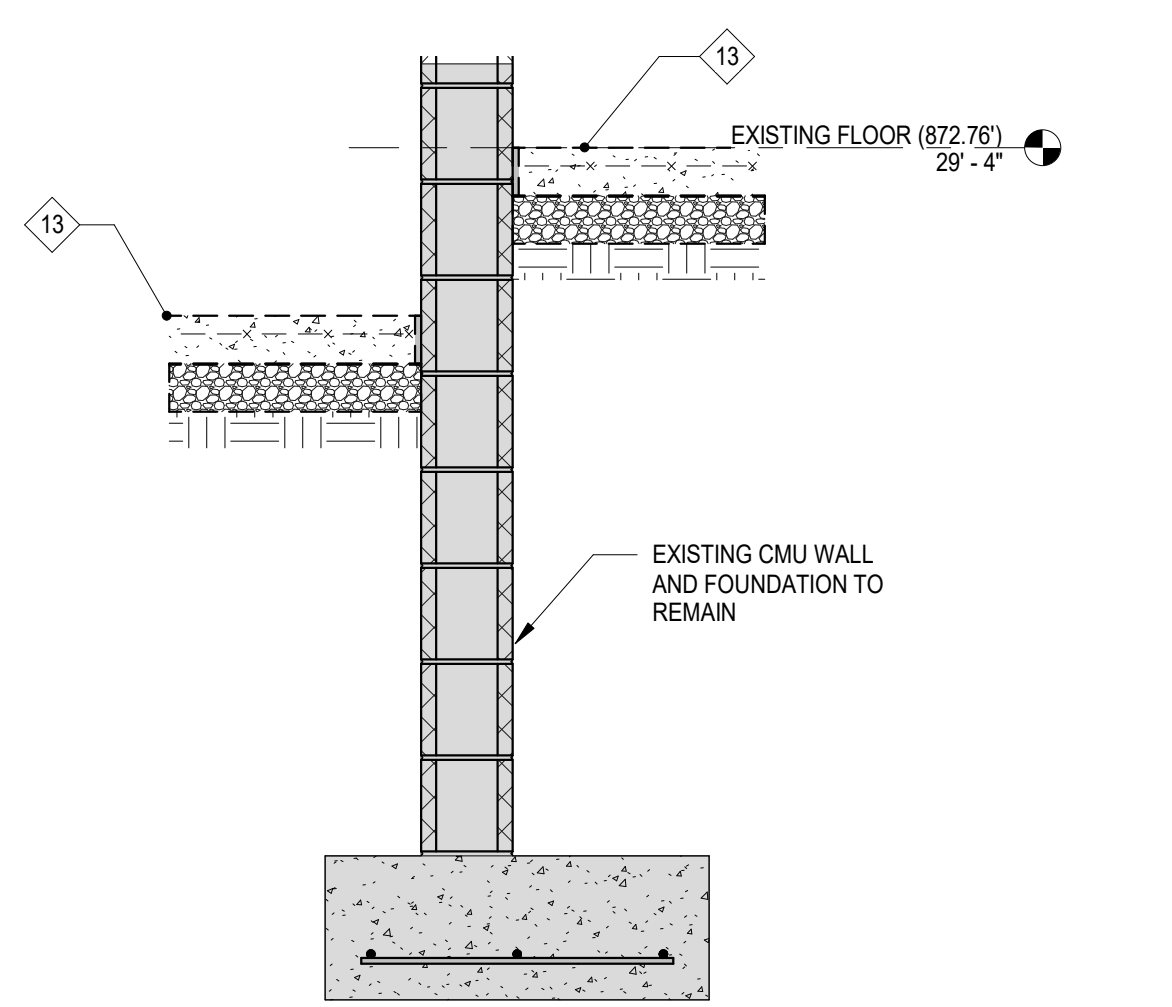
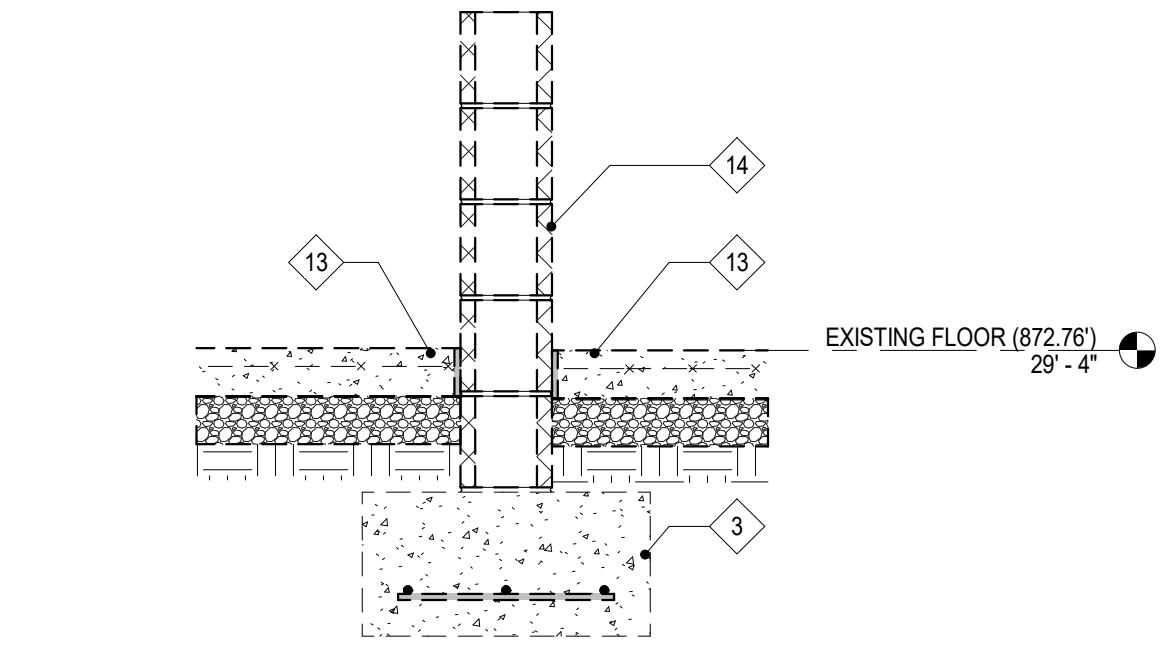
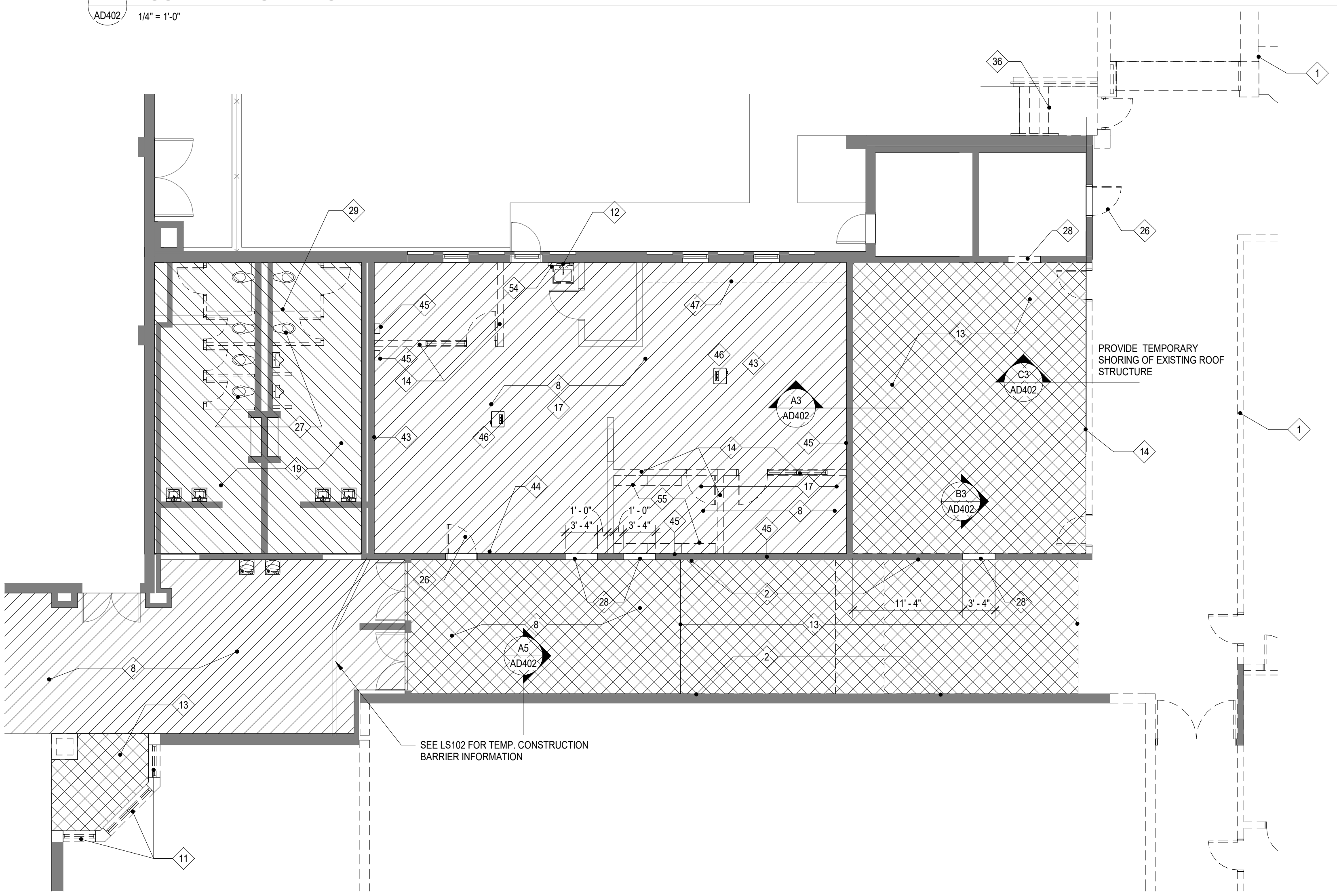
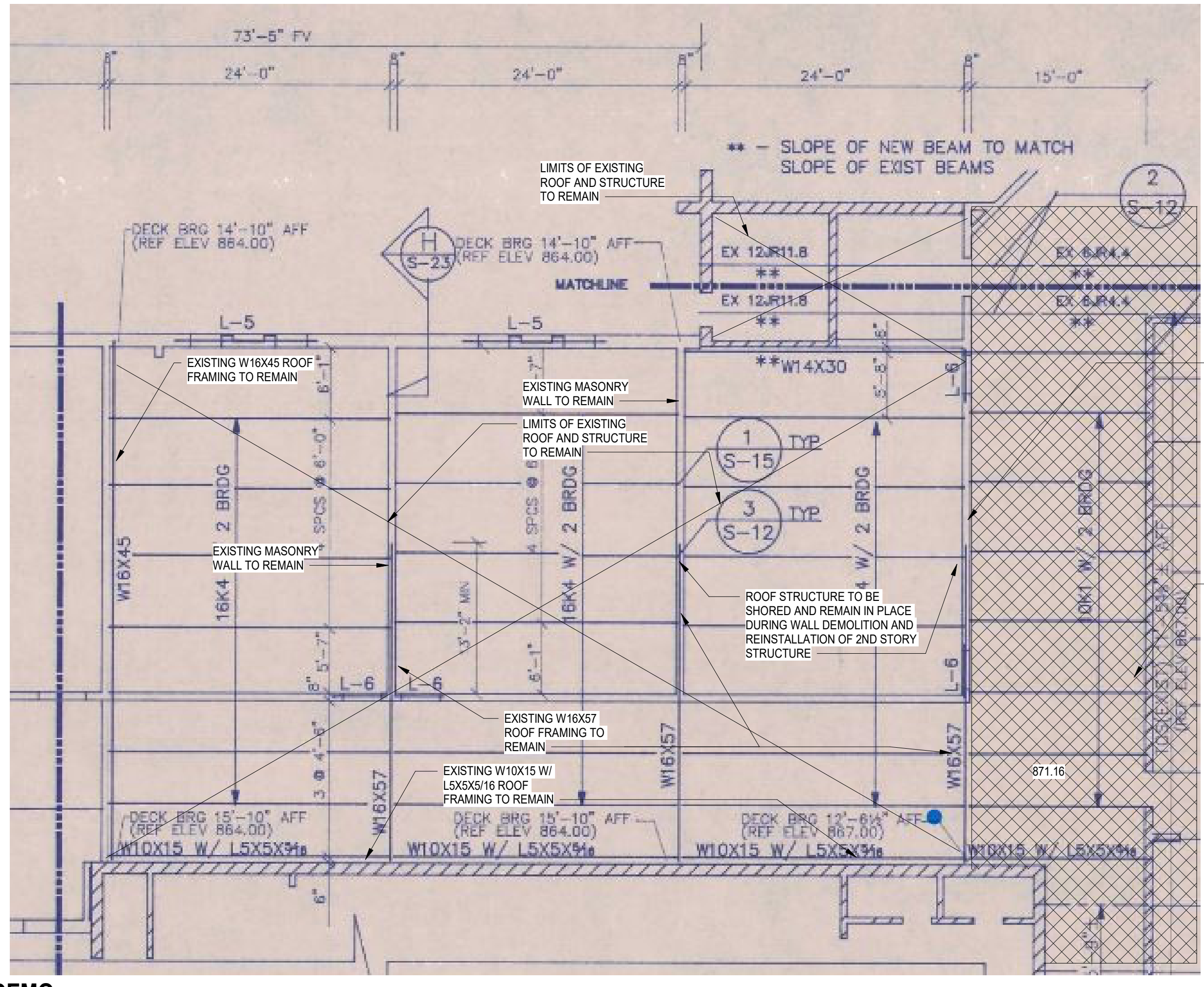
NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	MLC
B	03/08/24	GMP DEMO SET	MLC

GMP DEMO SET 03/08/24  
PRINCIPAL IN CHARGE: MLC  
PROJECT ARCHITECT: RPC  
DRAWN BY: DC

SHEET TITLE:  
**ENLARGED DEMOLITION PLANS AND WALL SECTIONS**

SHEET NO. PROJ. NO. 022652.00

**AD402**

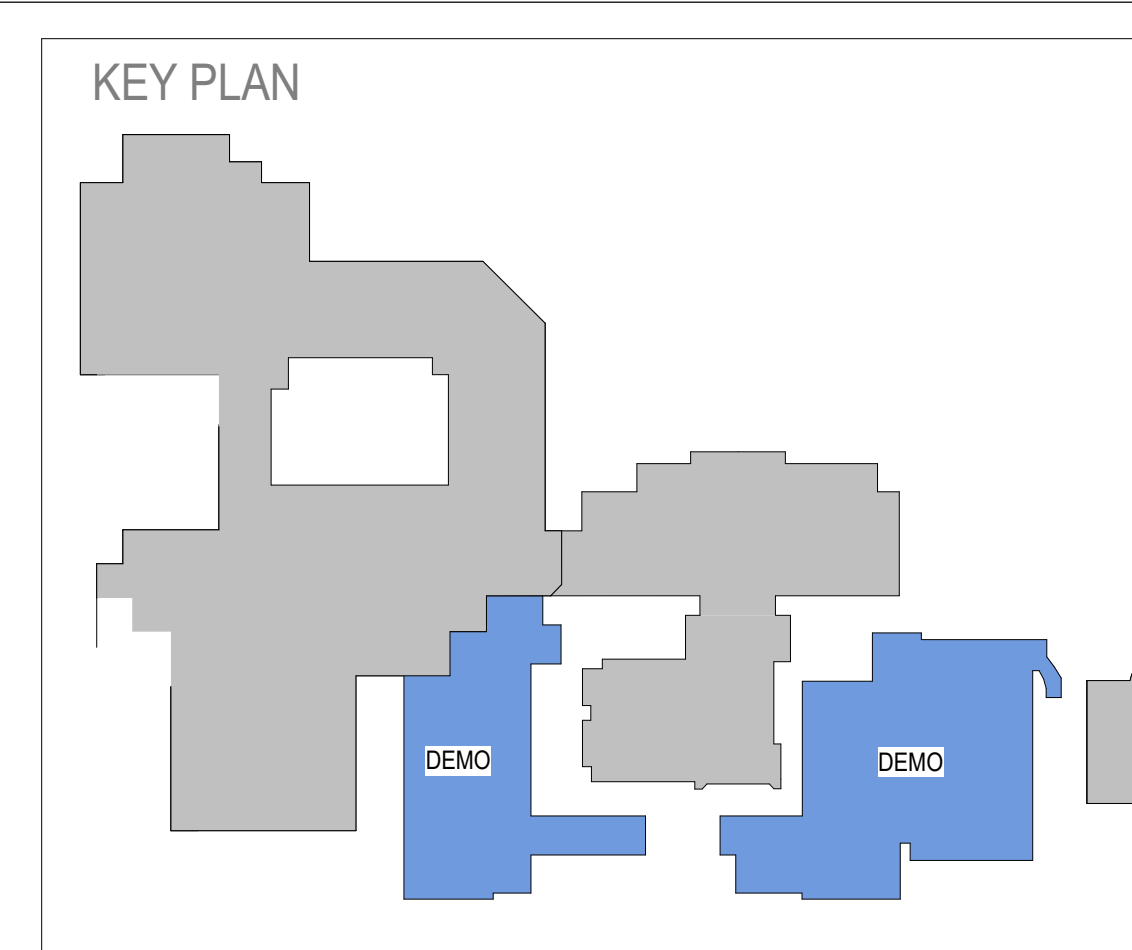


GENERAL DEMOLITION KEYNOTES

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>DEMOLISH TOTAL EXISTING BUILDING SHOWN HATCHED AND WALL SHOWN DASHED INCLUDING WALLS, FLOOR SLAB, DOORS, WINDOWS, CEILINGS, ROOF, PLUMBING FIXTURES AND ALL ASSOCIATED UTILITIES. AFTER DEMOLITION, ADJACENT WALL SURFACES REMAINING SHALL BE SMOOTH AND FLUSH. ANY PROTRUSIONS AND/OR DEPRESSIONS NEED TO BE REMOVED OR FILLED. WALL SHOULD BE PREPPED FOR INSTALLATION OF EXTERIOR FINISH.</li> <li>REMOVE EXISTING WALL MOUNTED HANDRAIL. REPAIR WALL AS REQUIRED.</li> <li>REMOVE EXISTING SPREAD FOOTING.</li> <li>DEMOLISH EXISTING GUTTER AND DOWNSPOUTS. PREPARE EXISTING FASCIA AS REQUIRED TO FLASH NEW ROOF.</li> <li>DEMOLISH EXISTING SILL WALL AT WINDOWS 1 BLOCK COURSE BELOW FINISHED FLOOR.</li> <li>DEMOLISH EXISTING COVERED WALK COLUMN AND FOUNDATION SEE A2/AD403 FOR PLAN AND DETAIL CALLOUTS.</li> <li>DEMOLISH EXISTING EXTERIOR CONCRETE SLAB AND BRICK PAVERS. REMOVE EXIT SIGN FROM ABOVE DOOR. COORDINATE SCHEDULE OF DEMO WITH USE OF TEMP. 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DO NOT REMOVE WALLS AT BORDER OF HATCH.</li> <li>EXISTING CONCRETE SLAB TO BE DEMOLISHED</li> <li>EXISTING CONCRETE SLAB TO REMAIN</li> <li>EXISTING VCT AND WALL BASE TO BE REMOVED</li> <li>EXISTING TILE AND SETTING BED TO BE REMOVED</li> <li>LOCATION OF EXISTING 3-HR AND/OR 4-HR FIRE WALLS</li> </ul> |
|---|--|

DEMOLITION LEGEND

KEY PLAN



NOT FOR CONSTRUCTION  
FOR PRICING ONLY



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CONSULTANT LOGO

SEALS

SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION

150 E. MAIN STREET  
 DUNCAN, SC 29504

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	MLC
B	03/08/24	GMP DEMO SET	MLC

GMP DEMO SET 03/08/24

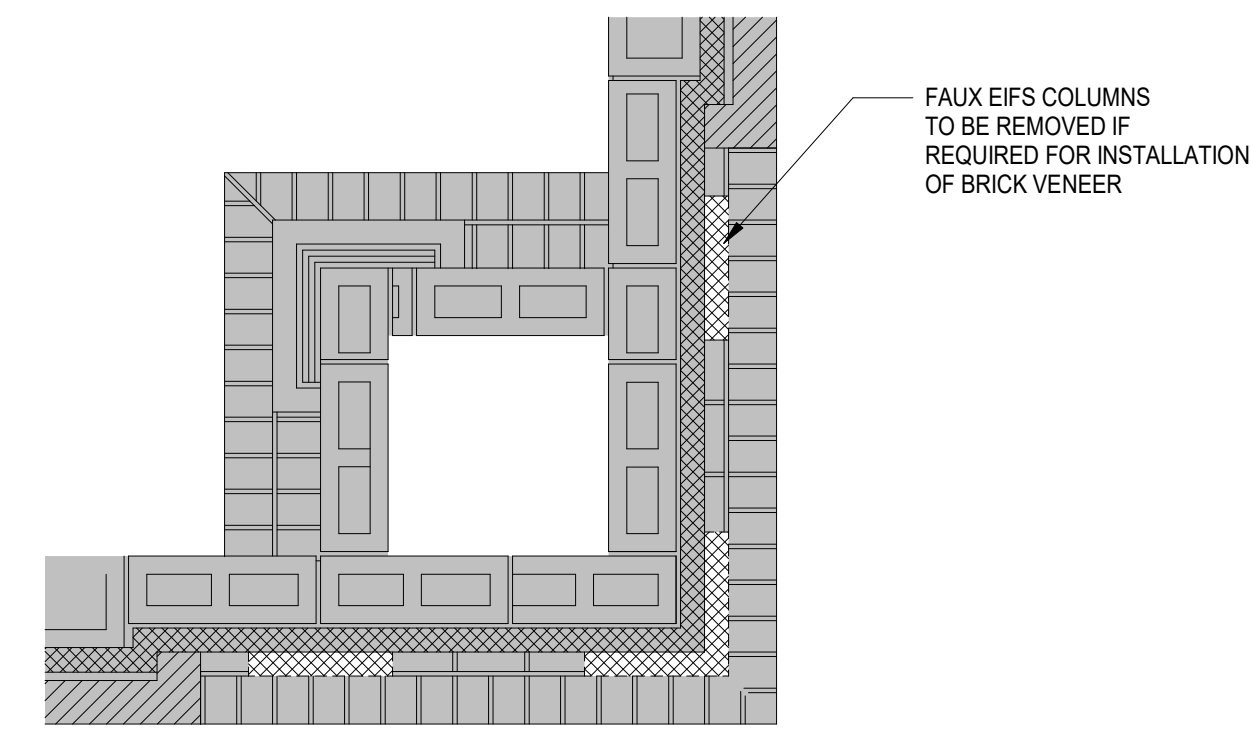
PRINCIPAL IN CHARGE: MLC  
 PROJECT ARCHITECT: RPC  
 DRAWN BY: DC

SHEET TITLE:  
**ENLARGED DEMOLITION  
 PLANS AND WALL  
 SECTIONS**

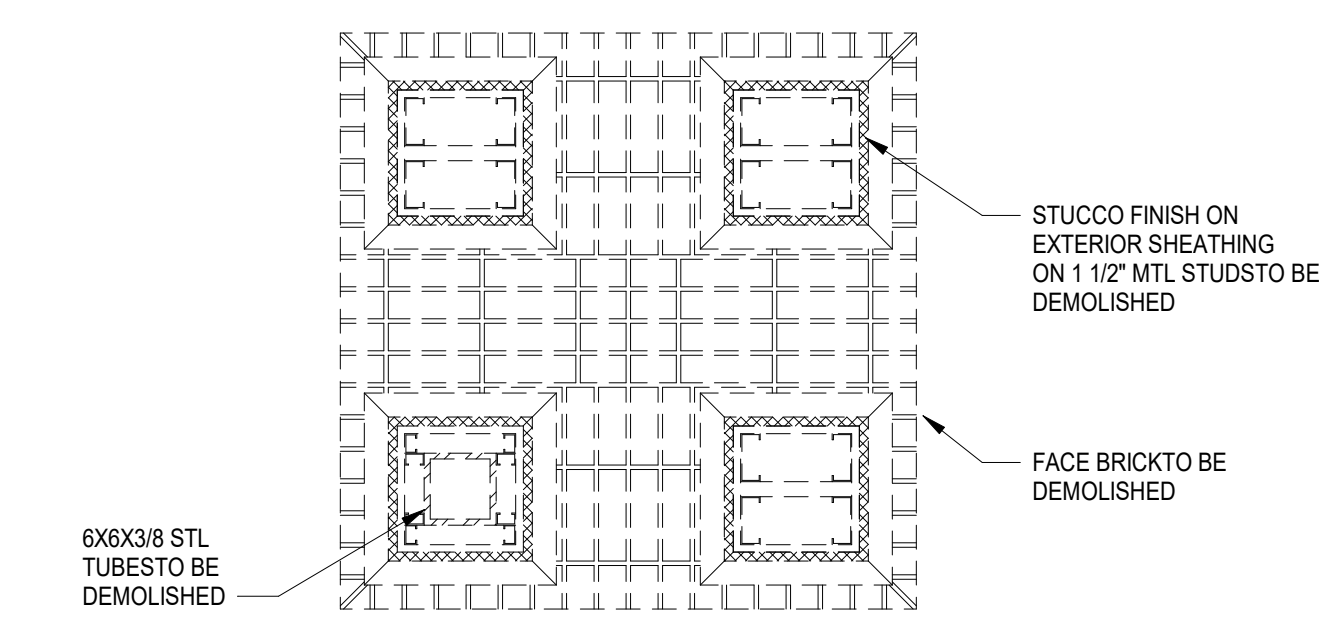
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 AD403 022652.00

**AD403**

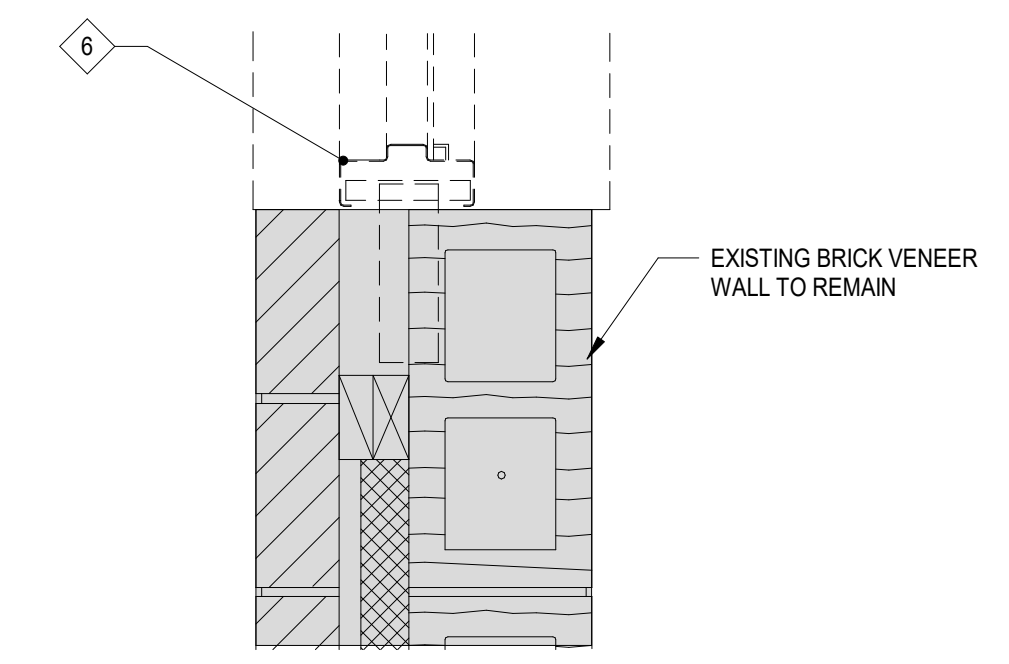
NOT FOR CONSTRUCTION  
 FOR PRICING ONLY



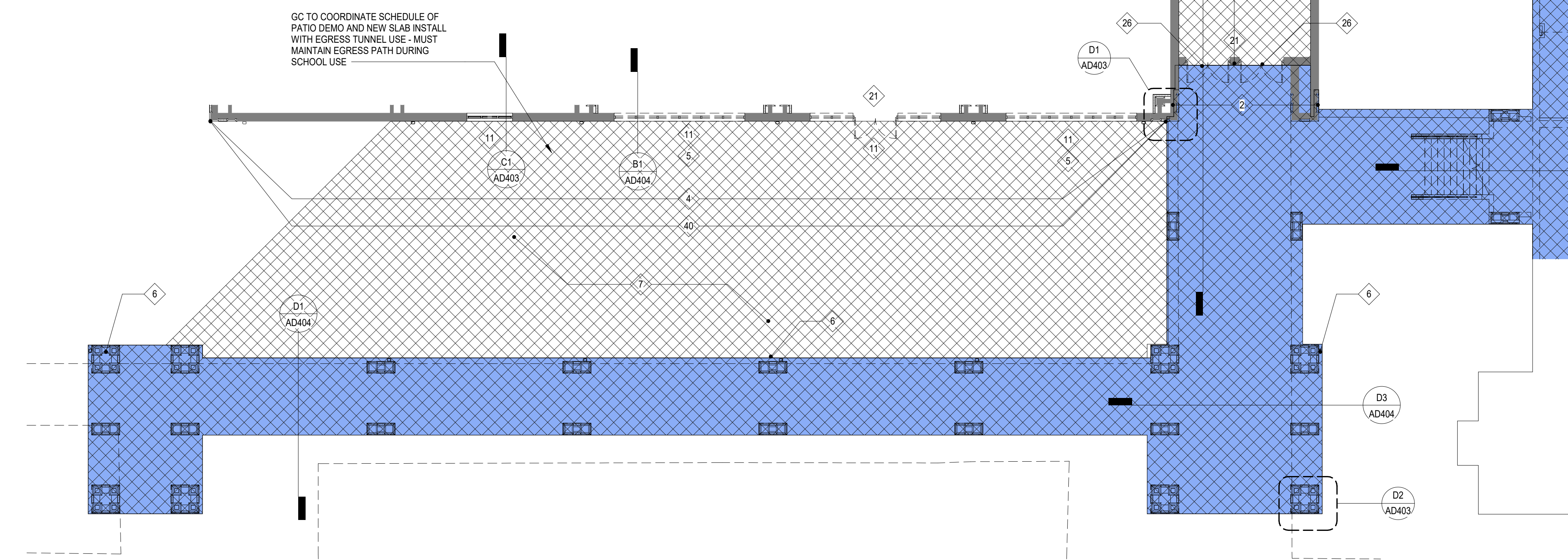
**D1 ENLARGED DETAIL - DEMO**  
 AD403 11/2" = 1'-0"



**D2 ENLARGED DETAIL - DEMO**  
 AD403 3/4" = 1'-0"



**C1 SECTION AT JAMB**  
 AD403 11/2" = 1'-0"



**A2 1100 LEVEL - ENLARGED CAFETERIA PATIO DEMOLITION PLAN**  
 AD403 3/32" = 1'-0"

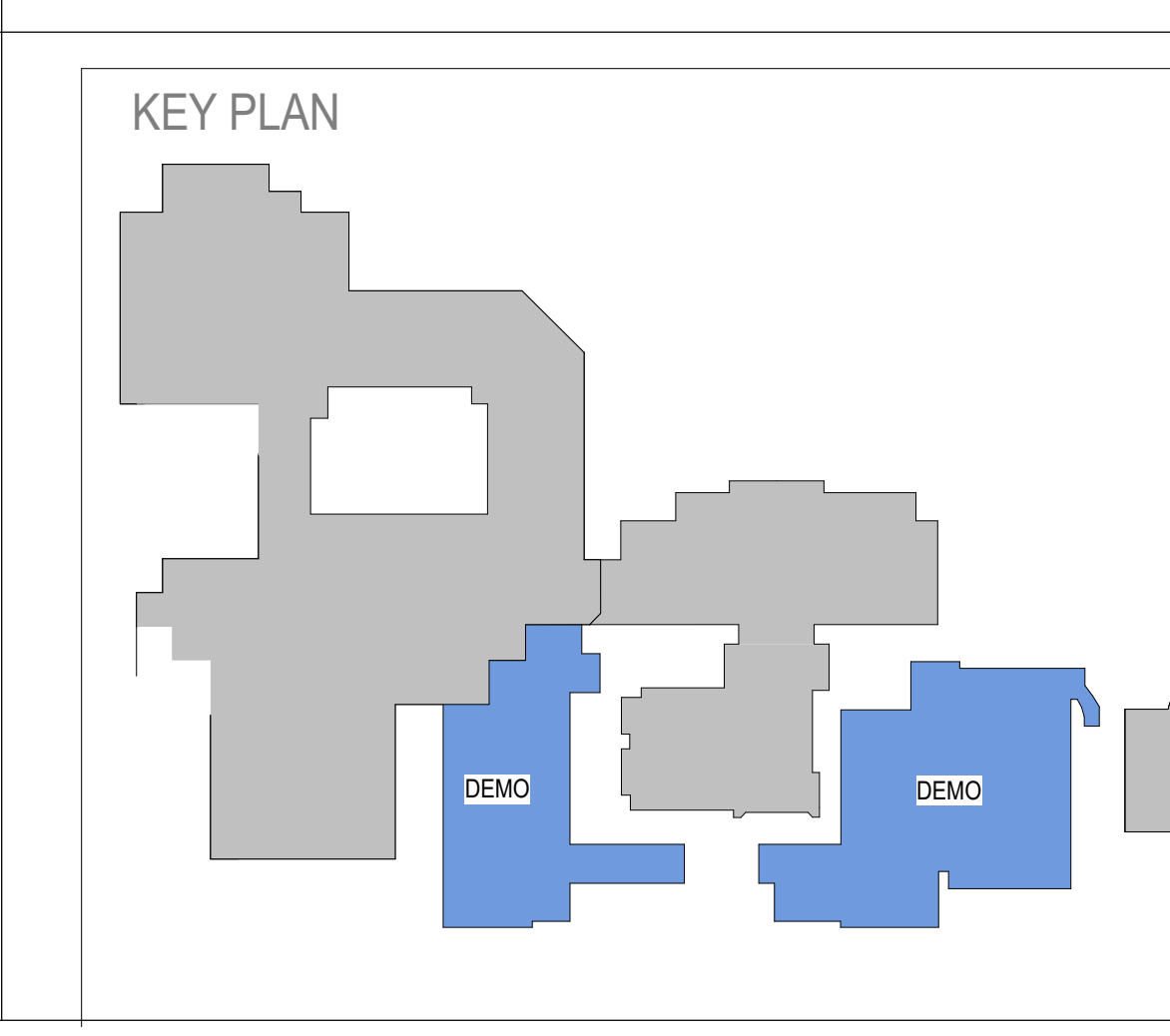
**GENERAL DEMOLITION KEYNOTES**

- |   |   |   |   |   |
|---|---|---|---|---|
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PATCH THE WALL THAT REMAINS TO MATCH ADJACENT CONSTRUCTION.</p> <p>35 REMOVE SURFACE MOUNTED 2 X 4 SHELVES.</p> <p>36 DEMOLISH POURED IN PLACE CONCRETE STAIR, LANDING, CHECKER WALL, AND RAILINGS.</p> <p>37 PATCH OPENINGS CREATED BY ROOF DRAIN, FLOOR DRAIN AND OVERFLOW DRAIN DEMOLITION TO MATCH ADJACENT CONSTRUCTION AND RATINGS.</p> <p>38 REMOVE EXISTING ROOF EAVE FLASHING AND BLOCKING.</p> <p>39 MODIFY EXISTING STUDS WALL AS REQUIRED FOR INSTALLATION OF NEW HM FRAME.</p> <p>40 REMOVE ALL SURFACE MOUNTED LIGHTS, CCTV CAMERAS, PULL STATIONS AND MISC CONDUITS.</p> | <p>41 REMOVE EXISTING KILN AND ALL ASSOCIATED ELECTRICAL DISCONNECTS.</p> <p>42 CAREFULLY REMOVE OVER STAGE LIGHTING, SUPPORT SYSTEM, CONDUITS AND LIGHTING CONTROL SYSTEMS. TURN OVER TO OWNER.</p> <p>43 REMOVE WALL MOUNTED ACOUSTICAL PANELS, TACK BOARDS, MOUNTED SHELVES, WHITE BOARDS AND MIRRORS. REPAIR WALLS AS REQUIRED.</p> <p>44 REMOVE EXISTING INTERNAL COMMUNICATION HANDSET AND CONDUIT.</p> <p>45 REMOVE EXISTING SURFACE MOUNTED ELECTRICAL RACEWAY.</p> <p>46 REMOVE EXISTING CEILING MOUNTED VIDEO PROJECTOR AS INDICATED ON DEMOLITION DRAWINGS AND TURN OVER TO OWNER.</p> <p>47 REMOVE EXISTING CASEWORK AND INTEGRATED ELECTRICAL CONDUIT, OUTLET BOXES AND DISCONNECT.</p> <p>48 REMOVE EXISTING CEILING TILES GRID TO REMAIN.</p> <p>49 PREPARE EXISTING CMU SLAB TO RECEIVE NEW VCT FLOORING.</p> <p>50 REMOVE DAMAGED FLOORING AS REQUIRED AND REPLACE WITH FLOORING TO MATCH EXISTING FLOORING IN COLOR, PROFILE AND FINISH.</p> <p>51 REMOVE EXISTING WOOD STUD WALLS, CLG JOIST, PLYWOOD CLG AND STEPS.</p> <p>52 REMOVE EXISTING WALL, BASE CABINETS, SURFACE MOUNTED SOAP AND PAPER TOWEL DISPENSERS REPAIR WALL AS REQUIRED.</p> <p>53 REMOVE EXISTING FIRE CABINET. STORE FOR FUTURE RELOCATION. REMOVE EXISTING PORTION OF VENT AND CAP. VERIFY CAPPED PORTION IS ABOVE NEW CLG.</p> | <p>54 REMOVE EXISTING PAPER TOWEL AND SOAP DISPENSERS REPAIR WALL AS REQUIRED.</p> <p>55 WOOD SHELVING UNITS TO BE REMOVED BY OWNER.</p> <p>56 DEMOLISH EXISTING CMU WING WALL WITH PRECAST CONCRETE TOP.</p> <p>57 REMOVE EXISTING CONCRETE SLAB AND BASE AS REQUIRED FOR INSTALLATION OF NEW STORM DRAIN REF. CIVIL DRAWINGS.</p> <p>58 REMOVE EXISTING ALUMINUM CANOPY OR PORTION OF CANOPY AS SHOWN OF ALL COLUMNS, FOUNDATIONS AND LIGHTS.</p> <p>59 REMOVE EXISTING TERRAZZO FLOOR FINISH AND PREPARE SLAB TO RECEIVE NEW FLOOR FINISH.</p> |
|---|---|---|---|---|

**DEMOLITION LEGEND**

- EXISTING BUILDING TO REMAIN
- GENERAL CONTRACTOR TO DEMOLISH EXISTING BUILDING IN AREAS INDICATED BY HATCH. WHERE A WALL TO BE REMOVED ABUTS AN EXISTING WALL THAT REMAINS, CLEAN MORTAR FROM EXISTING WALL. REMOVE ALL ANCHORS AND SUPPORTS AND REPLACE ANY MASONRY UNITS THAT ARE DAMAGED. POINT UP ALL JOINTS SO THAT FINISHED WALL DOES NOT SHOW EVIDENCE OF OLD JOINT. DO NOT REMOVE WALLS AT BORDER OF HATCH.
- EXISTING CONCRETE SLAB TO BE DEMOLISHED
- EXISTING CONCRETE SLAB TO REMAIN
- EXISTING VCT AND WALL BASE TO BE REMOVED
- EXISTING TILE AND SETTING BED TO BE REMOVED
- LOCATION OF EXISTING 3-HR AND/OR 4-HR FIREWALLS

**KEY PLAN**



ALL DRAWINGS, SPECIFICATIONS AND NOTES HEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THESE DRAWINGS OR NOTES ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE DRAWINGS ARE THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THESE DRAWINGS OR NOTES ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE.



# GENERAL DEMOLITION NOTES

- GENERAL CONTRACTOR TO REPORT DISCOVERY OF ANY ASBESTOS RELATED MATERIAL TO ARCHITECT. ASBESTOS REMOVAL IS NOT WITHIN THE SCOPE OF THIS CONTRACT.
- REVIEW AND COORDINATE STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR EXTENT OF DEMOLITION.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEMOLITION ITEMS. THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. PRIOR TO BIDDING AND COMMENCING ANY WORK, THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. REPORT ANY DISCREPANCIES IN EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO DEMOLITION. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISH CONSTRUCTION PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE NEW CONSTRUCTION.
- PROTECT AND KEEP CLEAN THE OWNER'S EXISTING PROPERTY (EXISTING CARPETS, VCT, MILLWORK, ETC.) NOT REMOVED AS PART OF THE DEMOLITION.
- EXISTING AREAS DAMAGED BY CONSTRUCTION ACTIVITIES (I.E. NEW HVAC, ELECTRICAL, PLUMBING SYSTEMS) SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS PRIOR TO DAMAGE. NEW FINISHES SHALL MATCH IN MATERIAL, COLOR, TEXTURE, AND PROFILE TO THE ADJACENT EXISTING CONDITIONS.
- DESKS, CHAIRS, TABLES, PAPERS, POSTERS, BOOKS, MAPS, FANS AND OTHER SUCH LOOSE EQUIPMENT, FURNISHINGS AND SUPPLIES SHALL BE REMOVED BY THE OWNER.
- HATCHED AREAS IN THE DEMOLITION PLANS REPRESENT WALLS OR ITEMS TO BE DEMOLISHED. NO WORK TO OCCUR IN AREAS OUTSIDE OF THE BOUNDARY OF CONSTRUCTION NOR IN THE AREAS NOT HATCHED.
- THESE DRAWINGS SHOW ITEMS TO BE DEMOLISHED FOR THIS PROJECT BEFORE THE START AND DURING PHASE 3 CONSTRUCTION. THE GENERAL CONTRACTOR WILL SCHEDULE/SEQUENCE WHEN THE DEMOLITION WILL OCCUR, DEPENDING ON THE SCHEDULE ADDITIONAL CONSTRUCTION MAY BE NEEDED TO OCCUR THAT IS NOT SHOWN IN THE DOCUMENTS THAT IS NEEDED TO PROTECT AND/OR SECURE THE EXISTING STRUCTURE.
- A MEETING SHALL BE HELD, PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK, BETWEEN THE ARCHITECT, PROJECT MANAGER AND THE GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF MATERIALS IN A MANNER THAT WILL AFFECT THE OWNER'S ONGOING OPERATIONS THE LEAST.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES INCLUDING LIFE SAFETY SYSTEMS. EXISTING LIFE SAFETY SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.



CONSULTANT LOGO

SEALS

SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION  
 150 E. MAIN STREET  
 DUNCAN, SC 29504

SHEET ISSUE:	NO.	DATE	DESCRIPTION	BY
	B	03/08/24	GMP DEMO SET	MLC

GMP DEMO SET 03/08/24

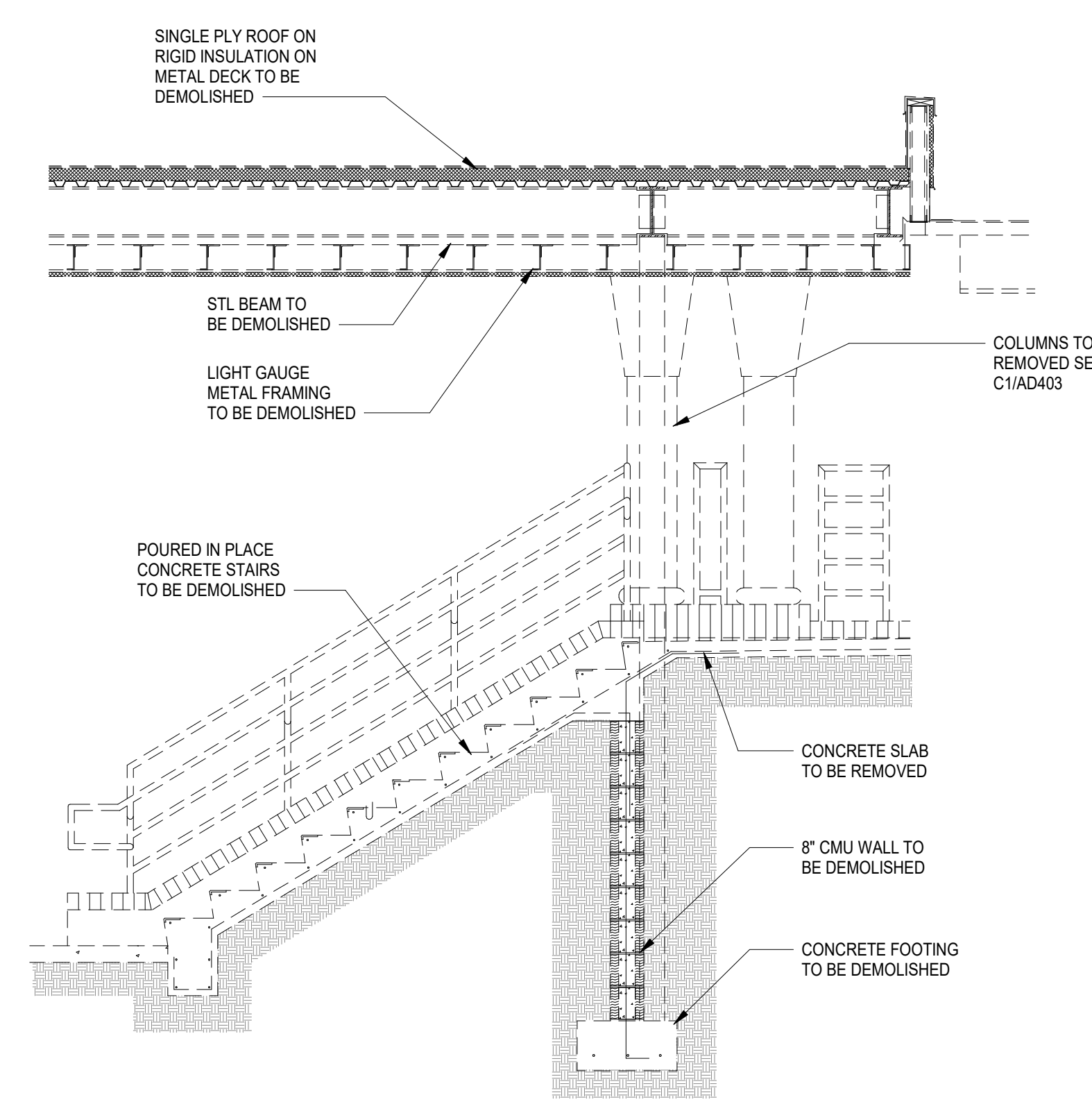
PRINCIPAL IN CHARGE: MCL  
 PROJECT ARCHITECT: RPC  
 DRAWN BY: DC

SHEET TITLE:  
**ENLARGED DEMOLITION PLANS AND DETAILS**

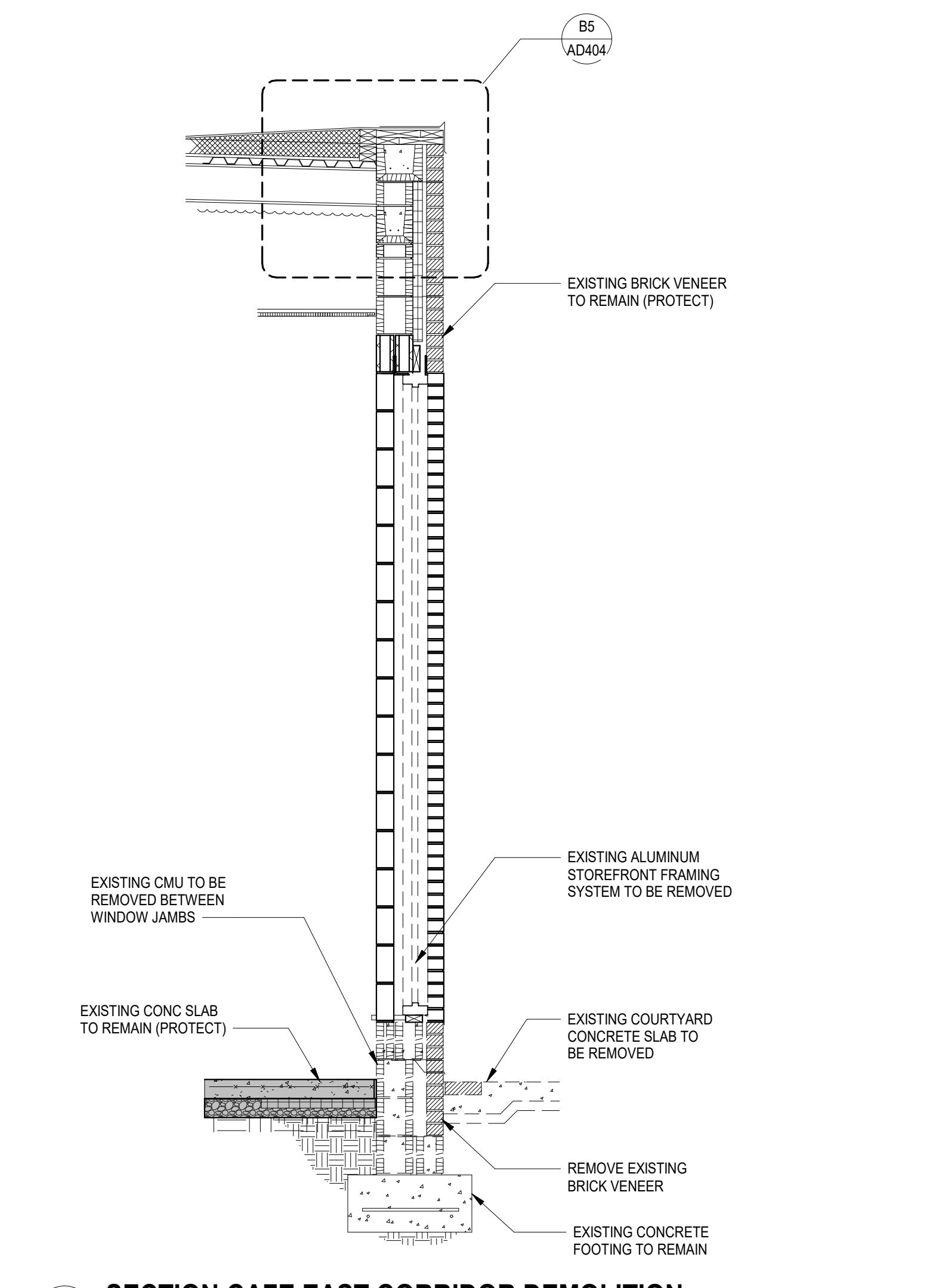
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**AD404**

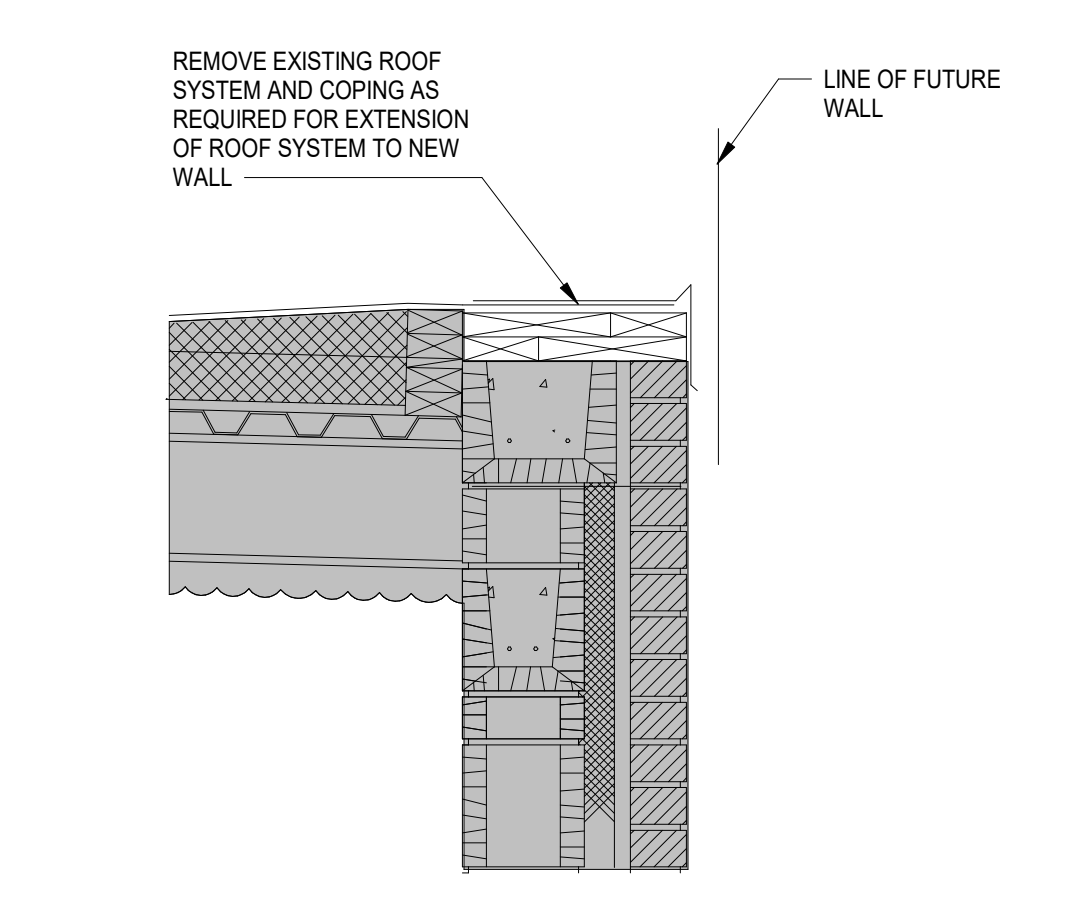
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 FOR PRICING ONLY



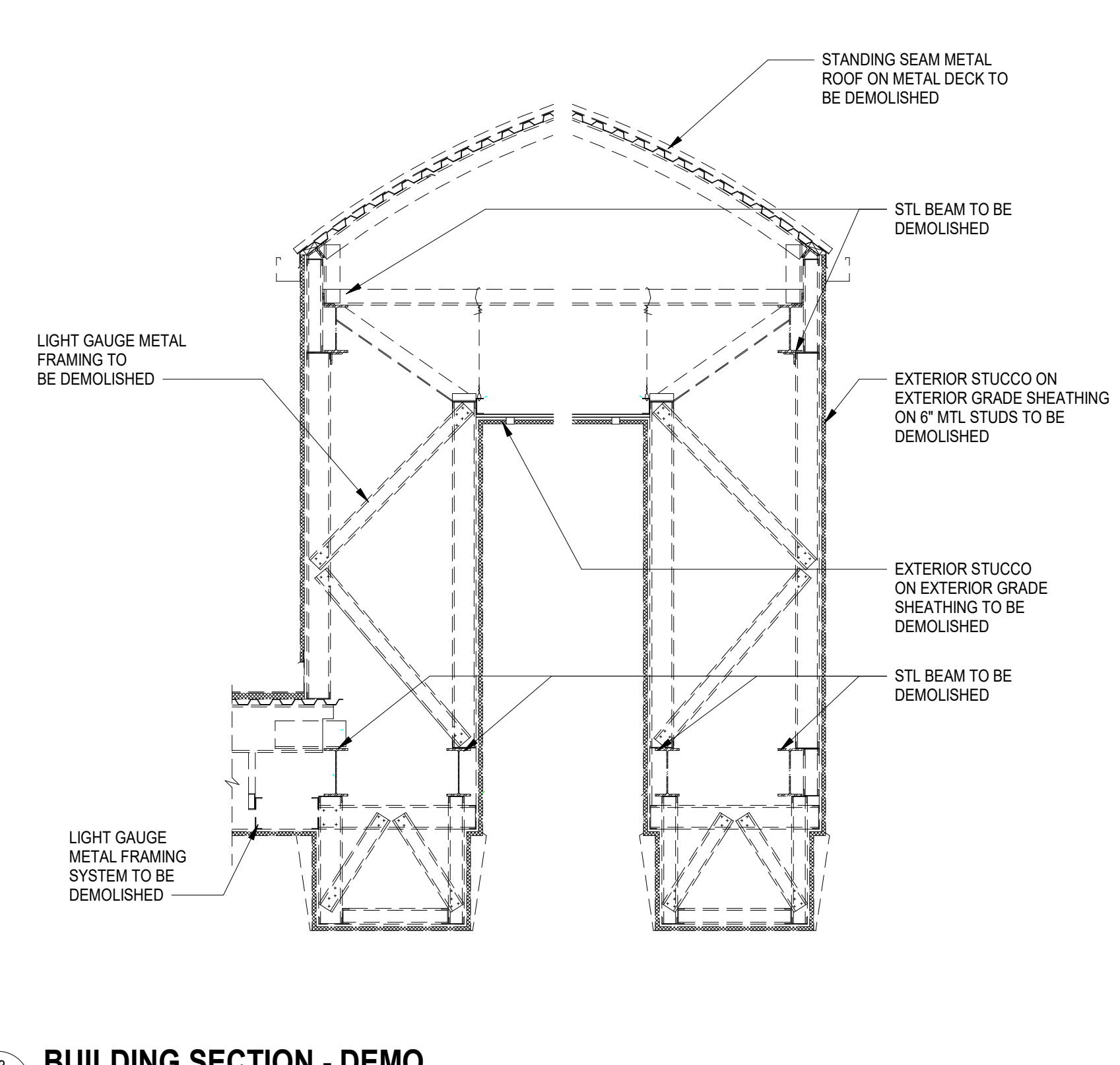
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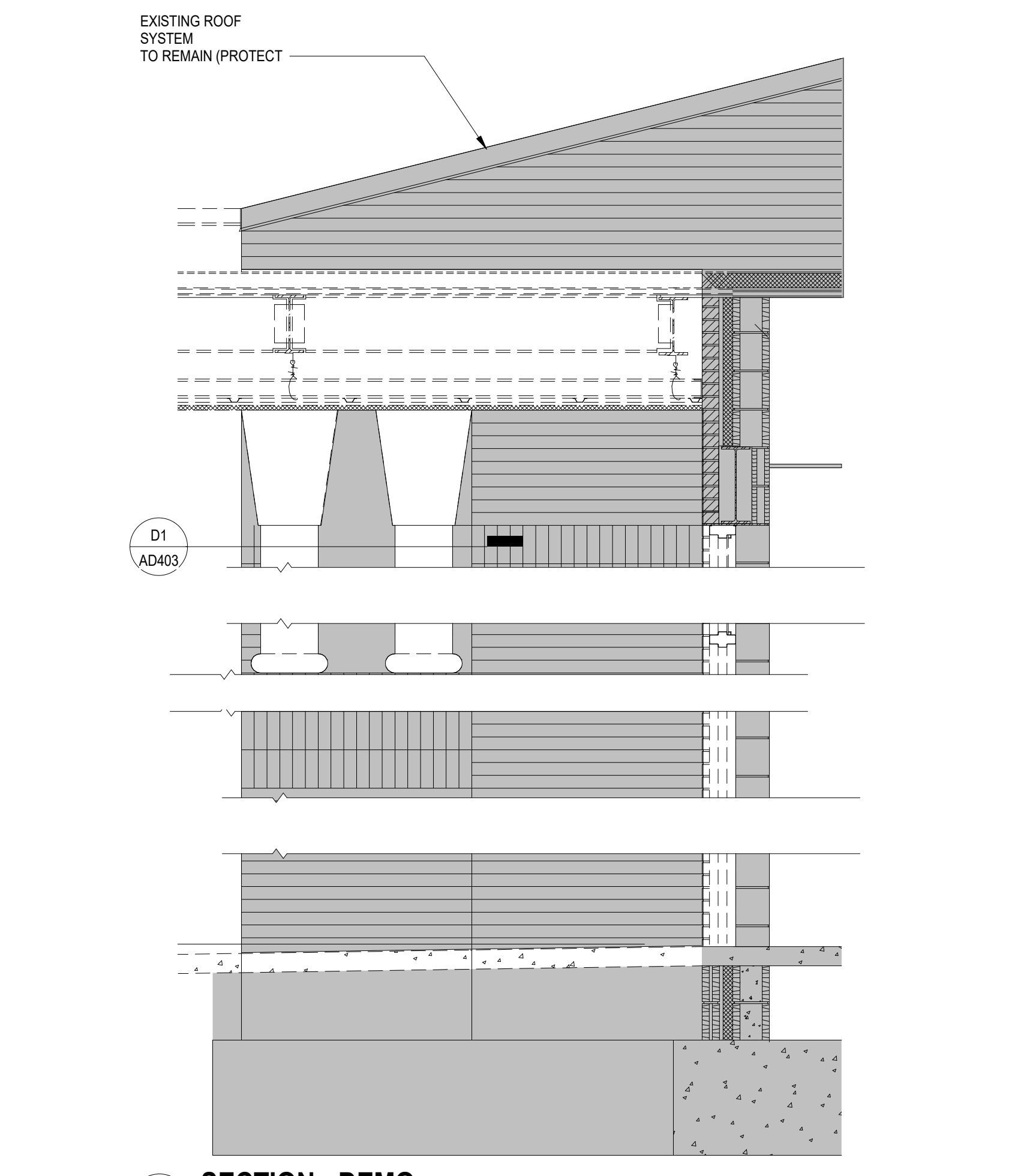
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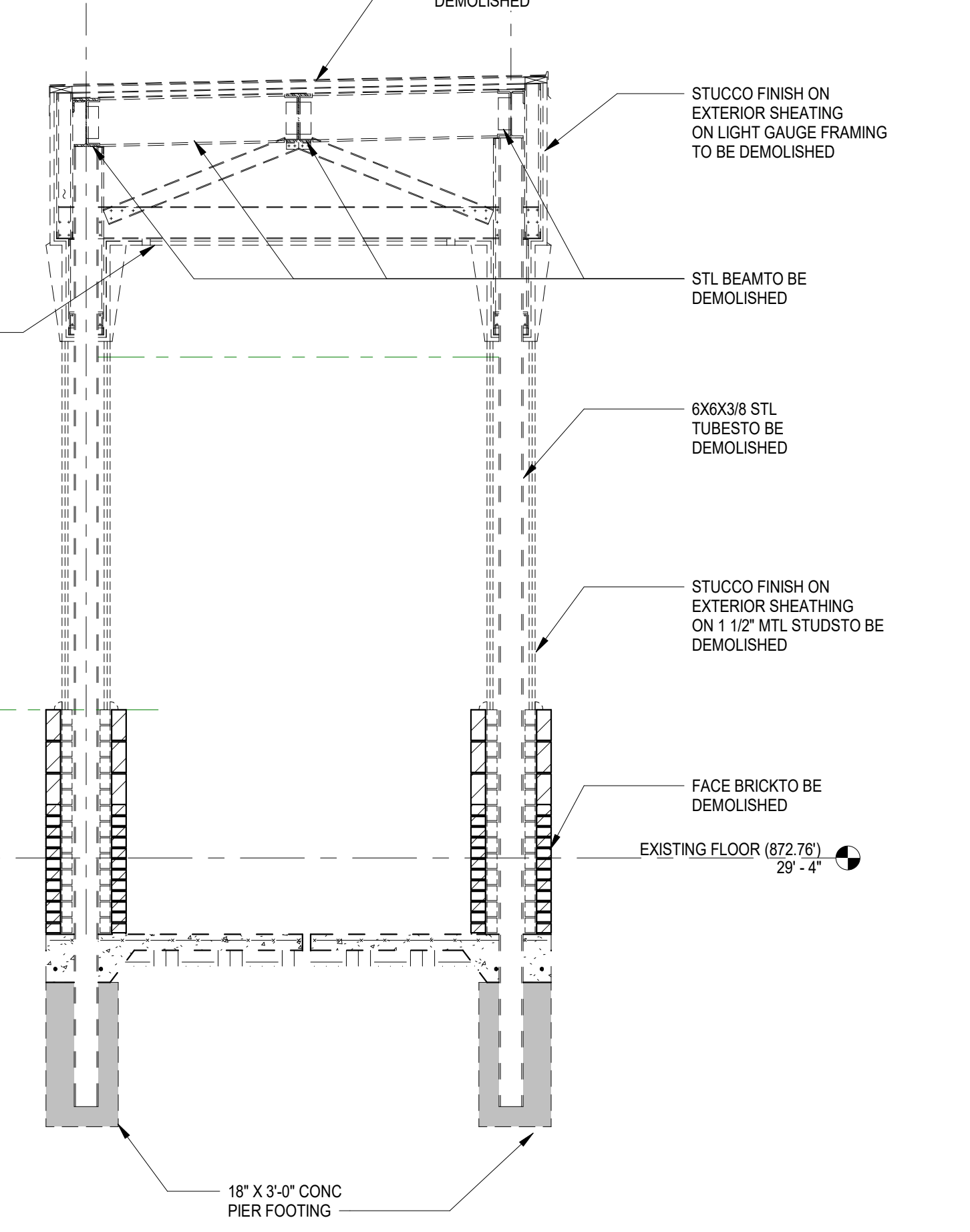
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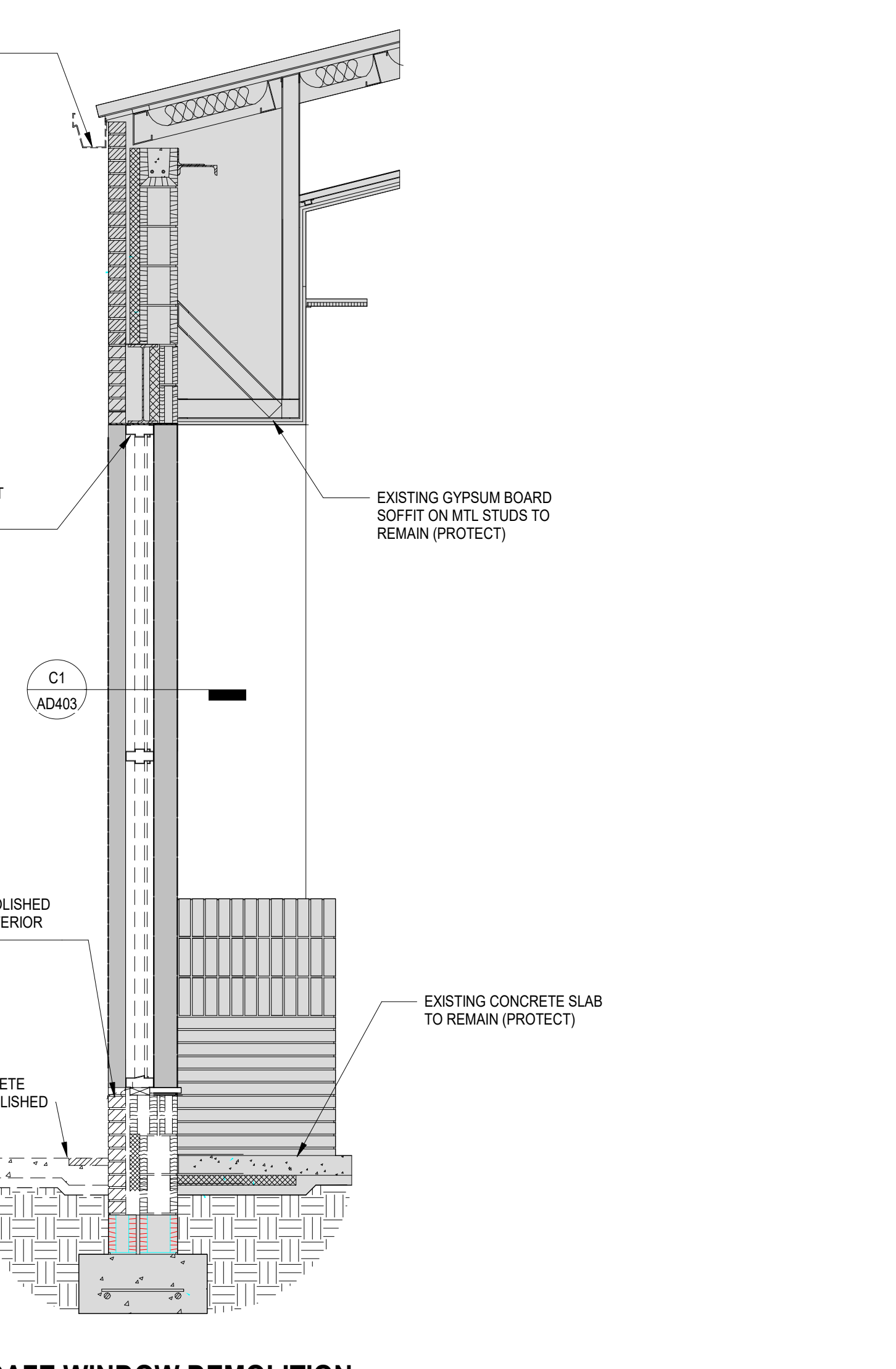
D3  
 AD404 / 3/8" = 1'-0"



B3  
 AD404 / 1/2" = 1'-0"



D1  
 AD404 / 3/8" = 1'-0"



B1  
 AD404 / 1/2" = 1'-0"

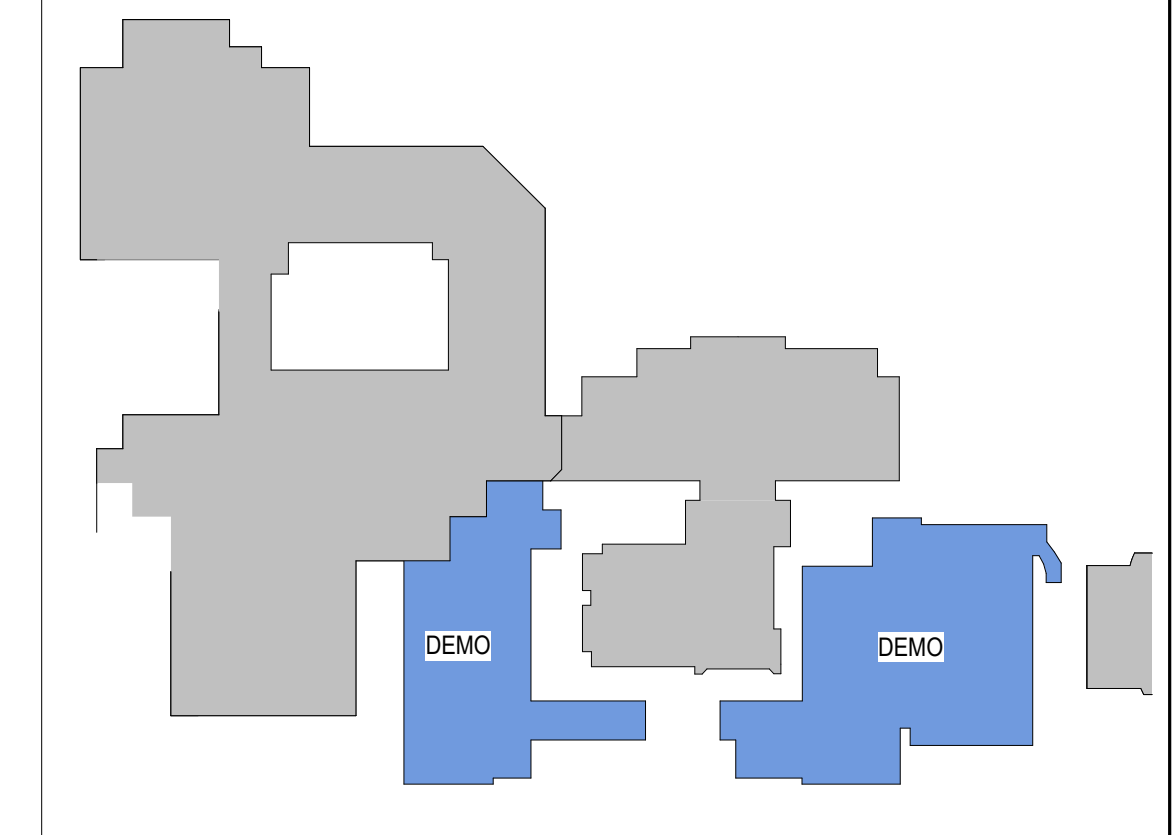
## GENERAL DEMOLITION KEYNOTES

- |   |   |   |   |
|---|---|---|---|
| 1 DEMOLISH TOTAL EXISTING BUILDING SHOWN HATCHED AND WALL SHOWN DASHED INCLUDING WALLS, FLOOR SLAB, DOORS, WINDOWS, CEILINGS, ROOF, PLUMBING FIXTURES AND ALL ASSOCIATED UTILITIES. AFTER DEMOLITION, ADJACENT WALL SURFACES REMAINING SHALL BE SMOOTH AND FLUSH. ANY PROTRUSIONS AND/OR DEPRESSIONS NEED TO BE REMOVED OR FILLED. WALL SHOULD BE PREPARED FOR INSTALLATION OF EXTERIOR FINISH. | 14 DEMOLISH AND REMOVE EXISTING CMU WALL  | 28 REMOVE EXISTING CMU WALL AS REQUIRED FOR INSTALLATION OF NEW HM DOOR REF. DOOR SCHEDULE FOR OPENING SIZE.                                  | 41 REMOVE EXISTING KILN AND ALL ASSOCIATED ELECTRICAL DISCONNECTS   |
| 2 REMOVE EXISTING WALL MOUNTED HANDRAIL. REPAIR WALL AS REQUIRED.   | 15 REMOVE EXISTING TEMPORARY FINISH SYSTEM AND EXTERIOR SHEATHING   | 29 DEMOLISH EXISTING TOILET PARTITIONS  | 42 CAREFULLY REMOVE OVER STAGE LIGHTING, SUPPORT SYSTEM, CONDUITS AND LIGHTING CONTROL SYSTEMS. TURN OVER TO OWNER                            |
| 3 REMOVE EXISTING SPREAD FOOTING  | 16 REMOVE TEMPORARY STUD WALL AND FINISH SYSTEM   | 30 DEMOLISH PORTION OF EXISTING CMU WALL AND HM DOOR REPAIR ADJACENT SURFACES AS REQUIRED   | 43 REMOVE WALL MOUNTED ACOUSTICAL PANELS, TACK BOARDS, MOUNTED SHELVES, WHITE BOARDS AND MIRRORS. REPAIR WALLS AS REQUIRED                    |
| 4 DEMOLISH EXISTING GUTTER AND DOWNSPOUTS. PREPARE EXISTING FASCIA AS REQUIRED TO FLASH NEW ROOF  | 17 REMOVE EXISTING CEILING TILE, GRID, AND ALL CEILING MOUNTED FIXTURES. REPLACE WITH NEW CEILING. STORE EXISTING FIXTURES FOR FUTURE INSTALLATION. | 31 COORDINATE SITE, PAVEMENT AND UTILITY DEMOLITION IN COURTYARD WITH CIVIL DRAWINGS.   | 44 REMOVE EXISTING INTERNAL COMMUNICATION HANDSET AND CONDUIT   |
| 5 DEMOLISH EXISTING SILL WALL AT WINDOWS 1 BLOCK COURSE BELOW FINISHED FLOOR  | 18 REMOVE EXISTING PARTICLE BOARD SHELVING UNITS. REPAIR WALLS AS REQUIRED.   | 32 DEMOLISH EXISTING FLOOR DRAIN AND HORIZONTAL DRAIN LINES TO VERTICAL DRAIN AND CAP.  | 45 REMOVE EXISTING SURFACE MOUNTED ELECTRICAL RACEWAY   |
| 6 DEMOLISH EXISTING COVERED WALK COLLUMN AND FOUNDATION SEE A2/AD403 FOR PLAN AND DETAIL CALLOUTS   | 19 REMOVE CERAMIC TILE AND SETTING BED  | 33 DEMOLISH EXISTING ROOF DRAIN AND HORIZONTAL DRAIN LINE TO VERTICAL DRAIN AND CAP.  | 46 REMOVE EXISTING CEILING MOUNTED VIDEO PROJECTOR AS INDICATED ON DEMOLITION DRAWINGS AND TURN OVER TO OWNER.                                |
| 7 DEMOLISH EXISTING EXTERIOR CONCRETE SLAB AND BRICK PAVERS. PREPARE AREA TO RECEIVE NEW CONCRETE FLOOR SLAB.   | 20 CAREFULLY REMOVE EXISTING TOILET ROOM FIXTURES. STORE FOR FUTURE REINSTALLATION  | 34 DEMOLISH EXISTING OVERFLOW DRAIN, HORIZONTAL DRAIN LINE AND COWS TONGUE DRAIN. PATCH THE WALL THAT REMAINS TO MATCH ADJACENT CONSTRUCTION. | 47 REMOVE EXISTING CASEWORK AND INTEGRATED ELECTRICAL CONDUIT, OUTLET BOXES AND DISCONNECT.   |
| 8 REMOVE EXISTING VCT AND VINYL BASE PROTECT AND REPAIR WALLS DAMAGED DURING DEMOLITION   | 21 REMOVE EXISTING ROOF FLASHING AND COUNTER FLASHING AS REQUIRED FOR NEW WALL CONSTRUCTION   | 35 REMOVE SURFACE MOUNTED 2 X 4 SHELVES   | 48 REMOVE EXISTING CEILING TILES GRID TO REMAIN   |
| 9 DEMOLISH EXISTING MTL STUD WALL   | 22 COORDINATE ROOF MEMBRANE DEMOLITION AS REQUIRED FOR INSTALLATION OF NEW FLASHING   | 36 DEMOLISH POURED IN PLACE CONCRETE STAIR, LANDING, CHEECK WALL, AND RAILINGS  | 49 PREPARE EXISTING CMU SLAB TO RECEIVE NEW VCT FLOORING  |
| 10 DEMOLISH EXISTING ALUM STOREFRONT DOOR AND WINDOW AND PREPARE FOR NEW WALL INFILL  | 23 REMOVE EXISTING ROOF FLASHING AND COUNTER FLASHING AS REQUIRED FOR NEW WALL CONSTRUCTION   | 37 PATCH OPENINGS CREATED BY ROOF DRAIN, FLOOR DRAIN AND OVERFLOW DRAIN DEMOLITION TO MATCH ADJACENT CONSTRUCTION AND RATINGS.                | 50 REMOVE DAMAGED FLOORING AS REQUIRED AND REPLACE WITH FLOORING TO MATCH EXISTING FLOORING IN COLOR, PROFILE AND FINISH                      |
| 11 DEMOLISH EXISTING WINDOW AND FRAME. INFILL OPENING WITH NEW WALL. SEE NEW CONSTRUCTION PLANS FOR TYPE. REPAIR ADJACENT WALLS AS REQUIRED.  | 24 REMOVE EXISTING PORTION OF MULTITHY WALL TO ELEVATIONS SHOWN ON SECTION  | 38 REMOVE EXISTING ROOF EAVE FLASHING AND BLOCKING  | 51 REMOVE EXISTING WOOD STUD WALLS, CLG JOIST, PLYWOOD CLG AND STEPS  |
| 12 DEMOLISH LAV / UTILITY SINK, CAP SUPPLY AND DRAIN LINES  | 25 REPAIR / MAINTAIN ROOF CRICKETS TO HAVE ROOF DRAINAGE TO EXISTING ROOF DRAINS  | 39 MODIFY EXISTING STUDS WALL AS REQUIRED FOR INSTALLATION OF NEW HM FRAME  | 52 REMOVE EXISTING WALL BASE CABINETS, SURFACE MOUNTED SOAP AND PAPER TOWEL DISPENSERS REPAIR WALL AS REQUIRED                                |
| 13 DEMOLISH AND REMOVE EXISTING FLOOR SLAB AND ASSOCIATED GRAVEL BASE MATERIAL IF REQUIRED TO PREPARE AREA FOR NEW FLOOR SLAB.  | 26 REMOVE EXISTING DOOR, FRAME, AND HARDWARE. REPAIR ADJACENT WALL AND INFILL WITH SIMILAR WALL MATERIAL.   | 40 REMOVE ALL SURFACE MOUNTED LIGHTS, CCTV CAMERAS, PULL STATIONS AND MISC CONDUITS   | 53 REMOVE EXISTING FIRE CABINET, STORE FOR FUTURE RELOCATION. REMOVE EXISTING PORTION OF VENT AND CAP. VERIFY CAPPED PORTION IS ABOVE NEW CLG |

## DEMOLITION LEGEND

- EXISTING BUILDING TO REMAIN
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- EXISTING CONCRETE SLAB TO BE DEMOLISHED
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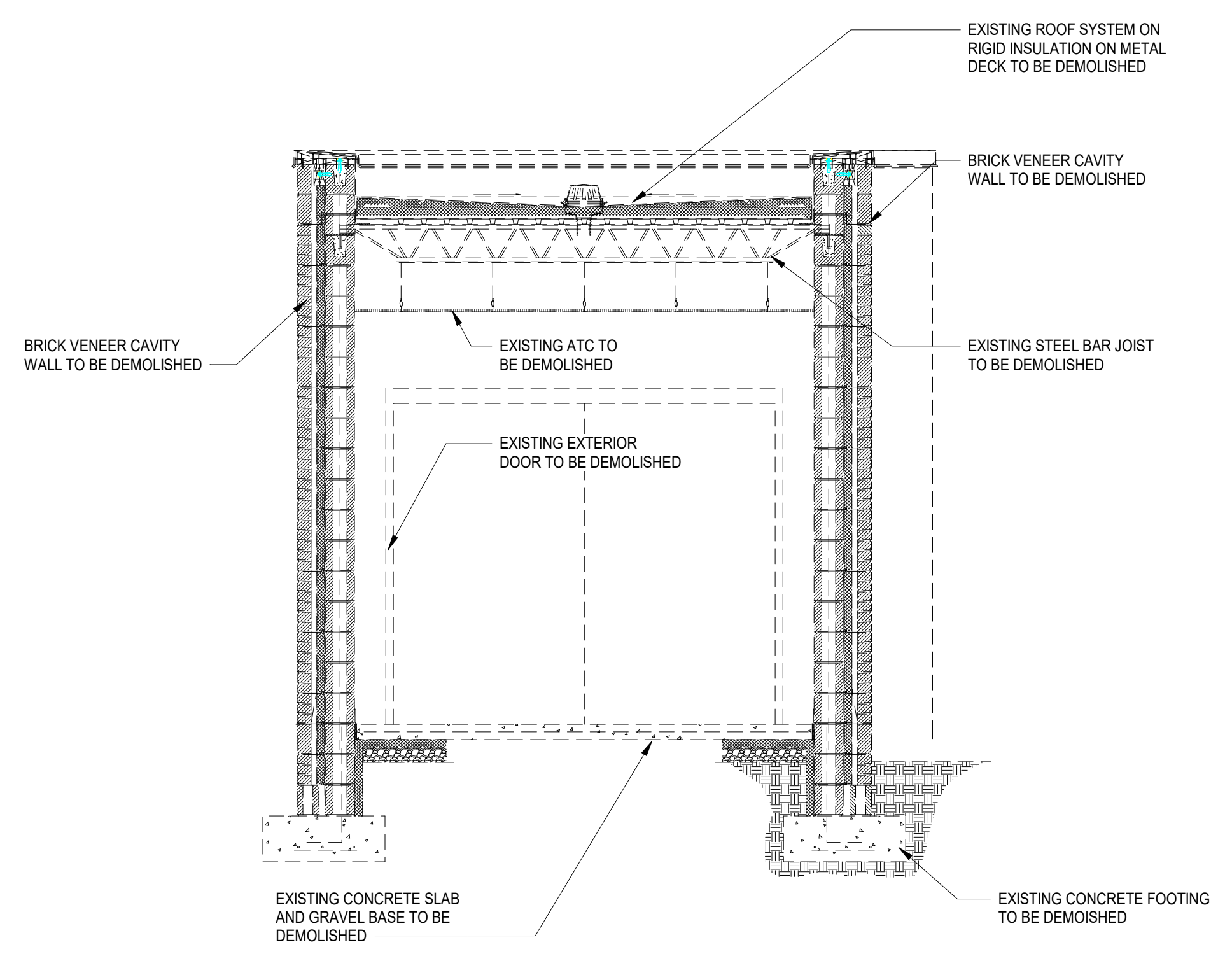
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- THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES INCLUDING LIFE SAFETY SYSTEMS. EXISTING LIFE SAFETY SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.



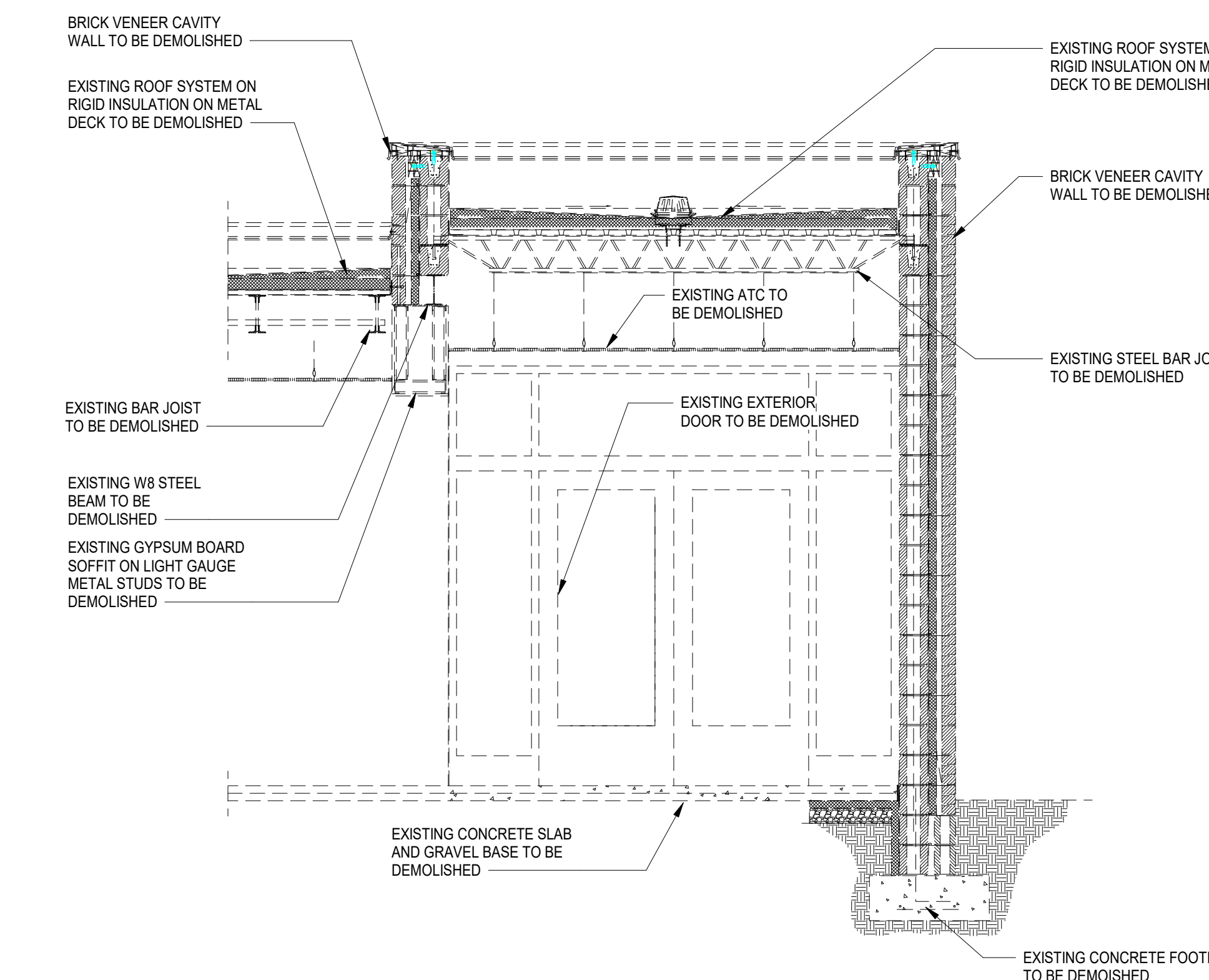
CONSULTANT LOGO

SEALS



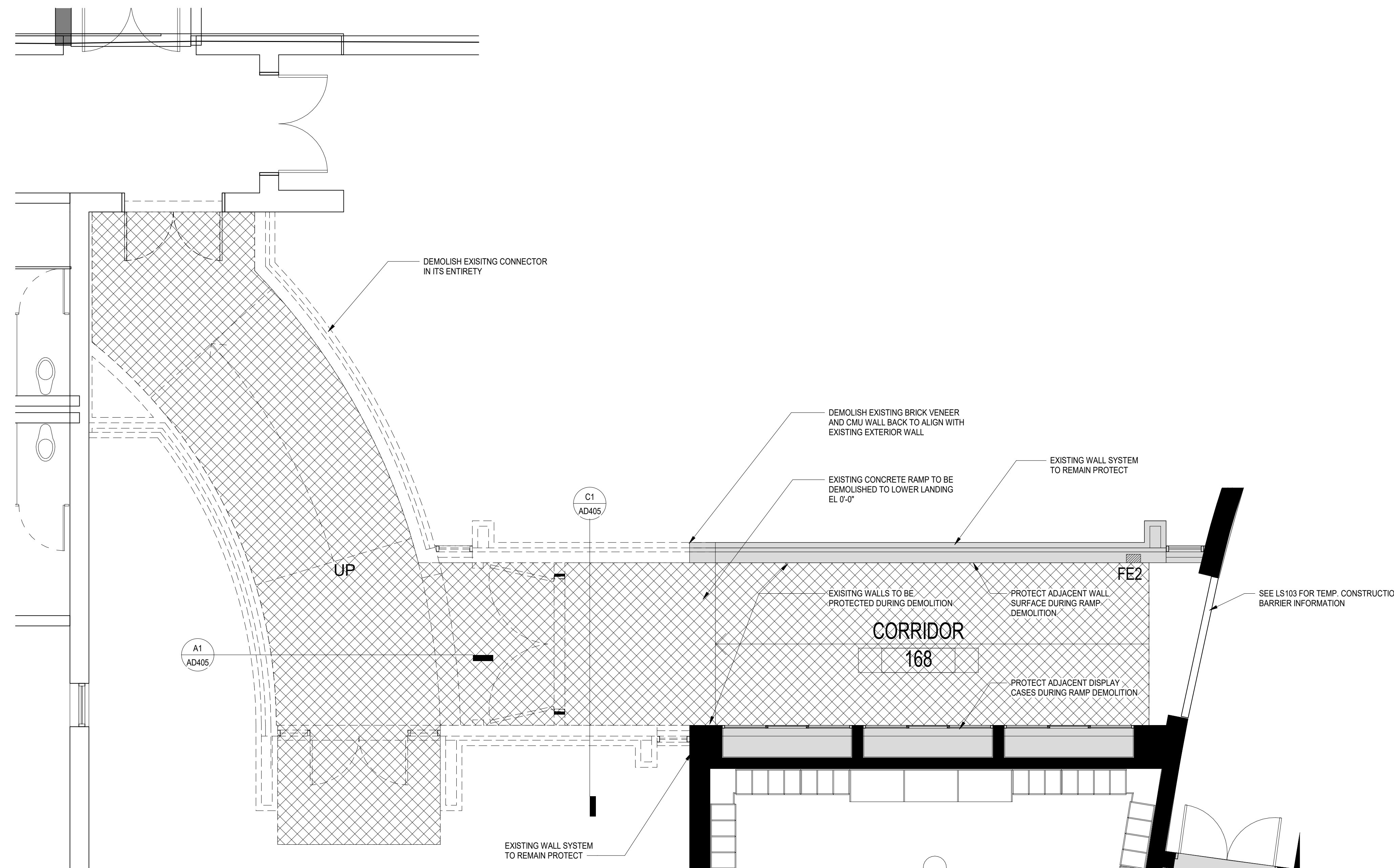
**C1 BUILDING SECTION - DEMO**

AD405 3/8" = 1'-0"



**A1 BUILDING SECTION - DEMO**

AD405 3/8" = 1'-0"



**A3 ENLARGED PLAN - DEMO**

AD405 1/4" = 1'-0"

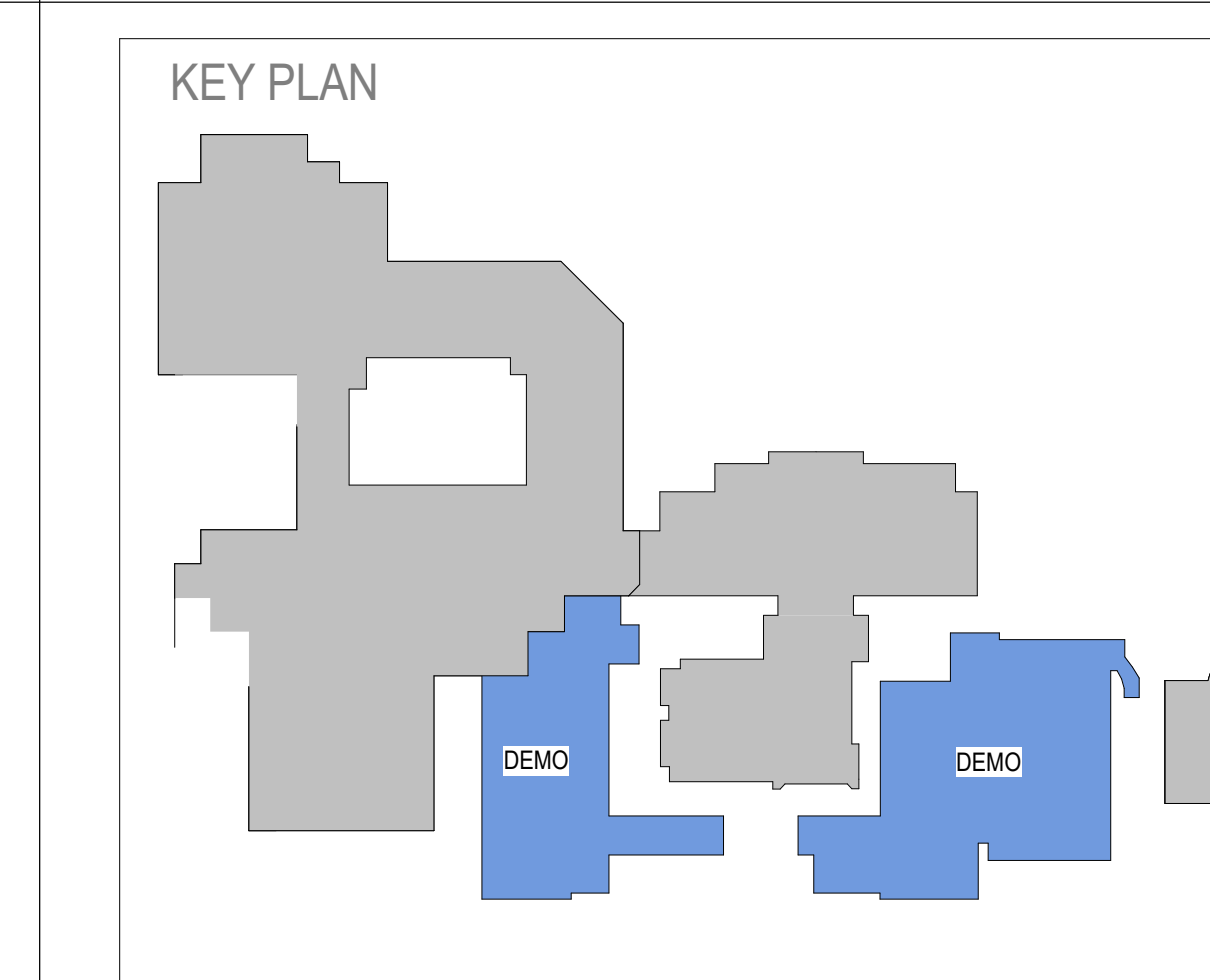
GENERAL DEMOLITION KEYNOTES

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- REMOVE EXISTING WALL MOUNTED HANDRAIL. REPAIR WALL AS REQUIRED.
- REMOVE EXISTING SPREAD FOOTING.
- DEMOLISH EXISTING GUTTER AND DOWNSPOUTS. PREPARE EXISTING FASCIA AS REQUIRED TO FLASH NEW ROOF.
- DEMOLISH EXISTING SILL WALL AT WINDOWS 1 BLOCK COURSE BELOW FINISHED FLOOR.
- DEMOLISH EXISTING COVERED WALK COLLUMN AND FOUNDATION SEE A2/AD403 FOR PLAN AND DETAIL CALLOUTS.
- DEMOLISH EXISTING EXTERIOR CONCRETE SLAB AND BRICK PAVERS. PREPARE AREA TO RECEIVE NEW CONCRETE FLOOR SLAB.
- REMOVE EXISTING VCT AND VINYL BASE PROTECT AND REPAIR WALLS DAMAGED DURING DEMOLITION.
- DEMOLISH EXISTING MTL STUD WALL.
- DEMOLISH EXISTING ALUM STOREFRONT DOOR AND WINDOW AND PREPARE FOR NEW WALL INFILL.
- DEMOLISH EXISTING WINDOW AND FRAME. INFILL OPENING WITH NEW WALL. SEE NEW CONSTRUCTION PLANS FOR TYPE. REPAIR ADJACENT WALLS AS REQUIRED.
- DEMOLISH LAV / UTILITY SINK, CAP SUPPLY AND DRAIN LINES.
- DEMOLISH AND REMOVE EXISTING FLOOR SLAB AND ASSOCIATED GRAVEL BASE MATERIAL IF REQUIRED TO PREPARE AREA FOR NEW FLOOR SLAB.
- DEMOLISH AND REMOVE EXISTING CMU WALL.
- REMOVE EXISTING TEMPORARY FINISH SYSTEM AND EXTERIOR SHEATHING.
- REMOVE TEMPORARY STUD WALL AND FINISH SYSTEM.
- REMOVE EXISTING CEILING TILE, GRID, AND ALL CEILING MOUNTED FIXTURES. REPLACE WITH NEW CEILING. STORE EXISTING FIXTURES FOR FUTURE INSTALLATION.
- REMOVE EXISTING PARTICLE BOARD SHELVING UNITS. REPAIR WALLS AS REQUIRED.
- REMOVE CERAMIC TILE AND SETTING BED.
- CAREFULLY REMOVE EXISTING TOILET ROOM FIXTURES. STORE FOR FUTURE REINSTALLATION.
- REMOVE EXIT SIGN FROM ABOVE DOOR. COORDINATE SCHEDULE OF DEMO WITH USE OF TEMP. EGRESS TUNNEL.
- COORDINATE ROOF MEMBRANE DEMOLITION AS REQUIRED FOR INSTALLATION OF NEW FLASHING.
- REMOVE EXISTING ROOF FLASHING AND COUNTER FLASHING AS REQUIRED FOR NEW WALL CONSTRUCTION.
- REMOVE EXISTING PORTION OF MULTIWYTH WALL TO ELEVATIONS SHOWN ON SECTION.
- REPAIR / MAINTAIN ROOF CRICKETS TO HAVE ROOF DRAINAGE TO EXISTING ROOF DRAINS.
- REMOVE EXISTING DOOR, FRAME, AND HARDWARE. REPAIR ADJACENT WALL AND INFILL WITH SIMILAR WALL MATERIAL.
- CAREFULLY REMOVE ALL FLOOR MOUNTED TOILET FIXTURES. STORE FOR FUTURE REINSTALLATION AT EXISTING LOCATIONS.
- REMOVE EXISTING CMU WALL AS REQUIRED FOR INSTALLATION OF NEW HM DOOR REF. DOOR SCHEDULE FOR OPENING SIZE.
- DEMOLISH EXISTING TOILET PARTITIONS.
- DEMOLISH PORTION OF EXISTING CMU WALL AND HM DOOR REPAIR ADJACENT SURFACES AS REQUIRED.
- COORDINATE SITE, PAVEMENT AND UTILITY DEMOLITION IN COURTYARD WITH CIVIL DRAWINGS.
- DEMOLISH EXISTING FLOOR DRAIN AND HORIZONTAL DRAIN LINES TO VERTICAL DRAIN AND CAP.
- DEMOLISH EXISTING ROOF DRAIN AND HORIZONTAL DRAIN LINE TO VERTICAL DRAIN AND CAP.
- DEMOLISH EXISTING OVERFLOW DRAIN, HORIZONTAL DRAIN LINE AND COW'S TONGUE DRAIN. PATCH THE WALL THAT REMAINS TO MATCH ADJACENT CONSTRUCTION.
- REMOVE SURFACE MOUNTED 2 X 4 SHELVES.
- DEMOLISH POURED IN PLACE CONCRETE STAIR, LANDING, CHEECK WALL, AND RAILINGS.
- PATCH OPENINGS CREATED BY ROOF DRAIN, FLOOR DRAIN AND OVERFLOW DRAIN DEMOLITION TO MATCH ADJACENT CONSTRUCTION AND RATINGS.
- REMOVE EXISTING ROOF EAVE FLASHING AND BLOCKING.
- MODIFY EXISTING STUDS WALL AS REQUIRED FOR INSTALLATION OF NEW HM FRAME.
- REMOVE ALL SURFACE MOUNTED LIGHTS, CCTV CAMERAS, PULL STATIONS AND MISC CONDUITS.
- REMOVE EXISTING KILN AND ALL ASSOCIATED ELECTRICAL DISCONNECTS.
- CAREFULLY REMOVE OVER STAGE LIGHTING, SUPPORT SYSTEM, CONDUITS AND LIGHTING CONTROL SYSTEMS. TURN OVER TO OWNER.
- REMOVE WALL MOUNTED ACUSTICAL PANELS, TACK BOARDS, MOUNTED SHELVES, WHITE BOARDS AND MIRRORS. REPAIR WALLS AS REQUIRED.
- REMOVE EXISTING INTERNAL COMMUNICATION HANDSET AND CONDUIT.
- REMOVE EXISTING SURFACE MOUNTED ELECTRICAL RACEWAY.
- REMOVE EXISTING CEILING MOUNTED VIDEO PROJECTOR AS INDICATED ON DEMOLITION DRAWINGS AND TURN OVER TO OWNER.
- REMOVE EXISTING CASEWORK AND INTEGRATED ELECTRICAL CONDUIT, OUTLET BOXES AND DISCONNECT.
- REMOVE EXISTING CEILING TILES GRID TO REMAIN.
- PREPARE EXISTING CMU SLAB TO RECEIVE NEW VCT FLOORING.
- REMOVE DAMGED FLOORING AS REQUIRED AND REPLACE WITH FLOORING TO MATCH EXISTING FLOORING IN COLOR, PROFILE AND FINISH.
- REMOVE EXISTING WOOD STUD WALLS, CLG JOIST, PLYWOOD CLG AND STEPS.
- REMOVE EXISTING WALL BASE CABINETS, SURFACE MOUNTED SOAP AND PAPER TOWEL DISPENSERS REPAIR WALL AS REQUIRED.
- REMOVE EXISTING FIRE CABINET, STORE FOR FUTURE RELOCATION. REMOVE EXISTING PORTION OF VENT AND CAP. VERIFY CAPPED PORTION IS ABOVE NEW CLG.
- REMOVE EXISTING PAPER TOWEL AND SOAP DISPENSERS REPAIR WALL AS REQUIRED.
- WOOD SHELVING UNITS TO BE REMOVED BY OWNER.
- DEMOLISH EXISTING CMU WING WALL WITH PRECAST CONCRETE TOP.
- REMOVE EXISTING CONCRETE SLAB AND BASE AS REQUIRED FOR INSTALLATION OF NEW STORM DRAIN REF CIVIL DRAWINGS.
- REMOVE EXISTING ALUMINUM CANOPY OR PORTION OF CANOPY AS SHOWN OF ALL COLUMNS, FOUNDATIONS AND LIGHTS.
- REMOVE EXISTING TERRAZZO FLOOR FINISH AND PREPARE SLAB TO RECEIVE NEW FLOOR FINISH.

DEMOLITION LEGEND

- EXISTING BUILDING TO REMAIN
- GENERAL CONTRACTOR TO DEMOLISH EXISTING BUILDING IN AREAS INDICATED BY HATCH. WHERE A WALL TO BE REMOVED ABUTS AN EXISTING WALL THAT REMAINS, CLEAN MORTAR FROM EXISTING WALL. REMOVE ALL ANCHORS AND SUPPORTS AND REPLACE ANY MASONRY UNITS THAT ARE DAMAGED. POINT UP ALL JOINTS SO THAT FINISHED WALL DOES NOT SHOW EVIDENCE OF OLD JOINT. DO NOT REMOVE WALLS AT BORDER OF HATCH.
- EXISTING CONCRETE SLAB TO BE DEMOLISHED
- EXISTING CONCRETE SLAB TO REMAIN
- EXISTING VCT AND WALL BASE TO BE REMOVED
- EXISTING TILE AND SETTING BED TO BE REMOVED
- LOCATION OF EXISTING 3-HR AND/OR 4-HR FIREWALLS

KEY PLAN



SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION  
 150 E. MAIN STREET  
 DUNCAN, SC 29504

NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	MLC
B	03/08/24	GMP DEMO SET	MLC

SHEET ISSUE:

GMP DEMO SET 03/08/24

PRINCIPAL IN CHARGE: MCL  
 PROJECT ARCHITECT: RPC  
 DRAWN BY: DC

SHEET TITLE:  
**ENLARGED DEMOLITION  
 PLANS AND WALL  
 SECTIONS**

SHEET NO. PROJ. NO.  
 022652.00

**AD405**

NOT FOR CONSTRUCTION  
 FOR PRICING ONLY



GENERAL DEMOLITION NOTES

- GENERAL CONTRACTOR TO REPORT DISCOVERY OF ANY ASBESTOS RELATED MATERIAL TO ARCHITECT. ASBESTOS REMOVAL IS NOT WITHIN THE SCOPE OF THIS CONTRACT.
- REVIEW AND COORDINATE STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR EXTENT OF DEMOLITION.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEMOLITION ITEMS. THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. PRIOR TO BIDDING AND COMMENCING ANY WORK, THE EXTENT OF DEMOLITION IS NOT LIMITED TO THE ITEMS LISTED. REPORT ANY DISCREPANCIES IN EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO DEMOLITION. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISH CONSTRUCTION PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE NEW CONSTRUCTION.
- PROTECT AND KEEP CLEAN THE OWNER'S EXISTING PROPERTY (EXISTING CARPETS, VCT, MILLWORK, ETC.) NOT REMOVED AS PART OF THE DEMOLITION.
- EXISTING AREAS DAMAGED BY CONSTRUCTION ACTIVITIES (I.E. NEW HVAC, ELECTRICAL, PLUMBING SYSTEMS) SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS PRIOR TO DAMAGE. NEW FINISHES SHALL MATCH IN MATERIAL, COLOR, TEXTURE, AND PROFILE TO THE ADJACENT EXISTING CONDITIONS.
- DESKS, CHAIRS, TABLES, PAPERS, POSTERS, BOOKS, MAPS, FANS AND OTHER SUCH LOOSE EQUIPMENT, FURNISHINGS AND SUPPLIES SHALL BE REMOVED BY THE OWNER.
- HATCHED AREAS IN THE DEMOLITION PLANS REPRESENT WALLS OR ITEMS TO BE DEMOLISHED. NO WORK TO OCCUR IN AREAS OUTSIDE OF THE BOUNDARY OF CONSTRUCTION NOR IN THE AREAS NOT HATCHED.
- THESE DRAWINGS SHOW ITEMS TO BE DEMOLISHED FOR THIS PROJECT BEFORE THE START AND DURING PHASE 3 CONSTRUCTION. THE GENERAL CONTRACTOR WILL SCHEDULE/SEQUENCE WHEN THE DEMOLITION WILL OCCUR, DEPENDING ON THE SCHEDULE ADDITIONAL CONSTRUCTION MAY BE NEEDED TO OCCUR THAT IS NOT SHOWN IN THE DOCUMENTS THAT IS NEEDED TO PROTECT AND/OR SECURE THE EXISTING STRUCTURE.
- A MEETING SHALL BE HELD, PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK, BETWEEN THE ARCHITECT, PROJECT MANAGER AND THE GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF MATERIALS IN A MANNER THAT WILL AFFECT THE OWNER'S ONGOING OPERATIONS THE LEAST.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES INCLUDING LIFE SAFETY SYSTEMS. EXISTING LIFE SAFETY SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.



CONSULTANT LOGO

SEALS

SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION

150 E. MAIN STREET  
 DUNCAN, SC 29544

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
B	03/08/24	GMP DEMO SET	MLC

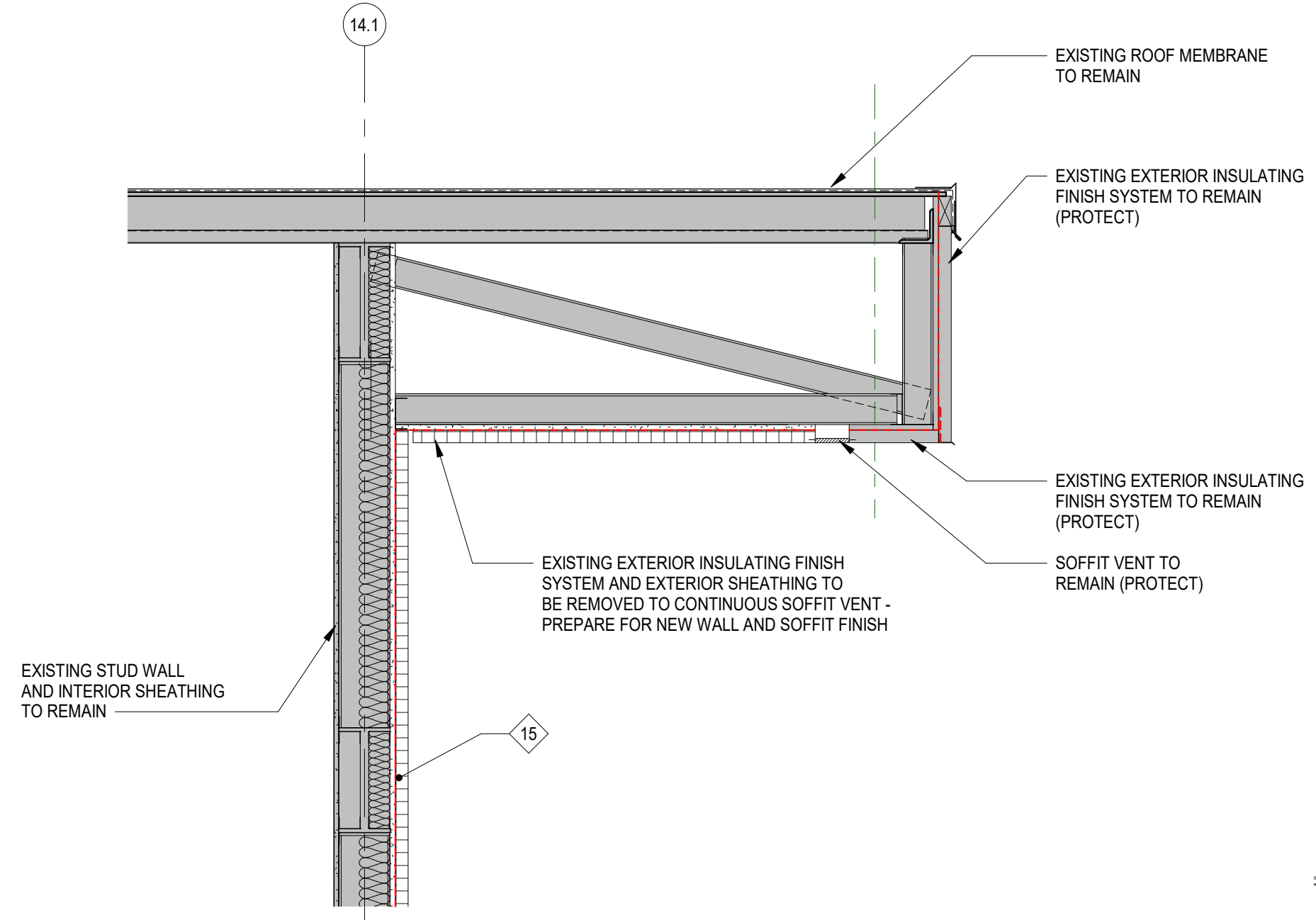
GMP DEMO SET 03/08/24

PRINCIPAL IN CHARGE: MLC  
 PROJECT ARCHITECT: RPC  
 DRAWN BY: RPC

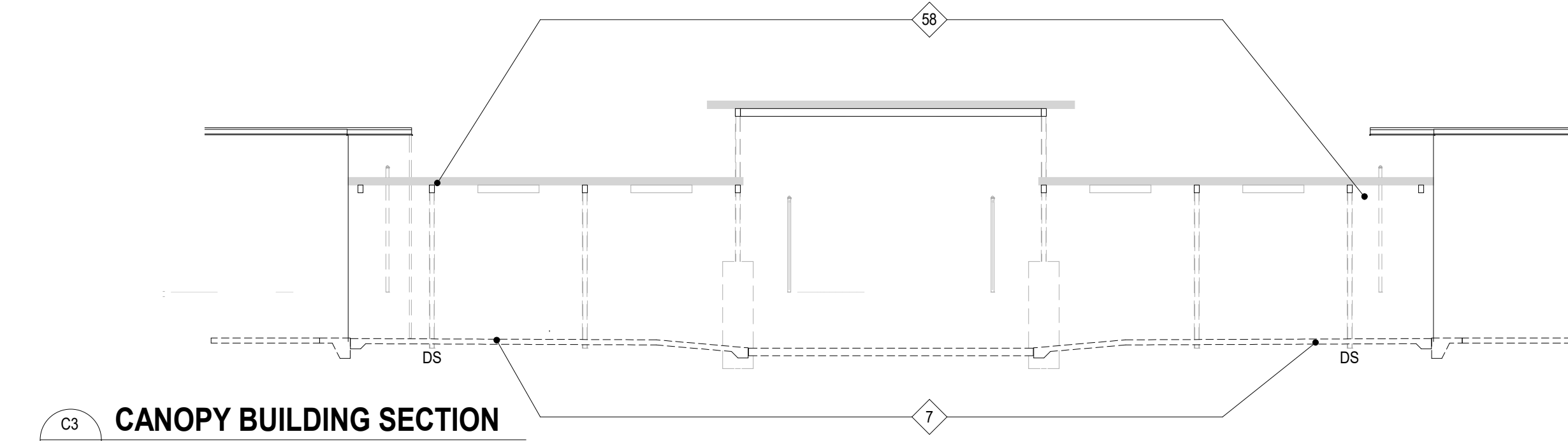
SHEET TITLE:  
**ENLARGED DEMOLITION  
 PLANS AND WALL  
 SECTIONS**

SHEET NO. PROJ. NO.  
 AD406 022652.00

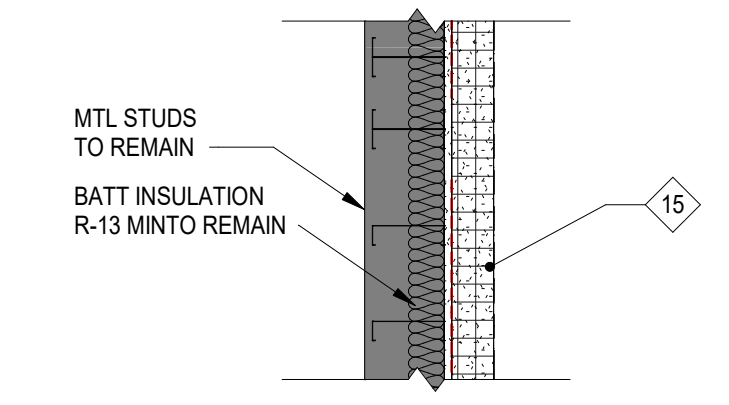
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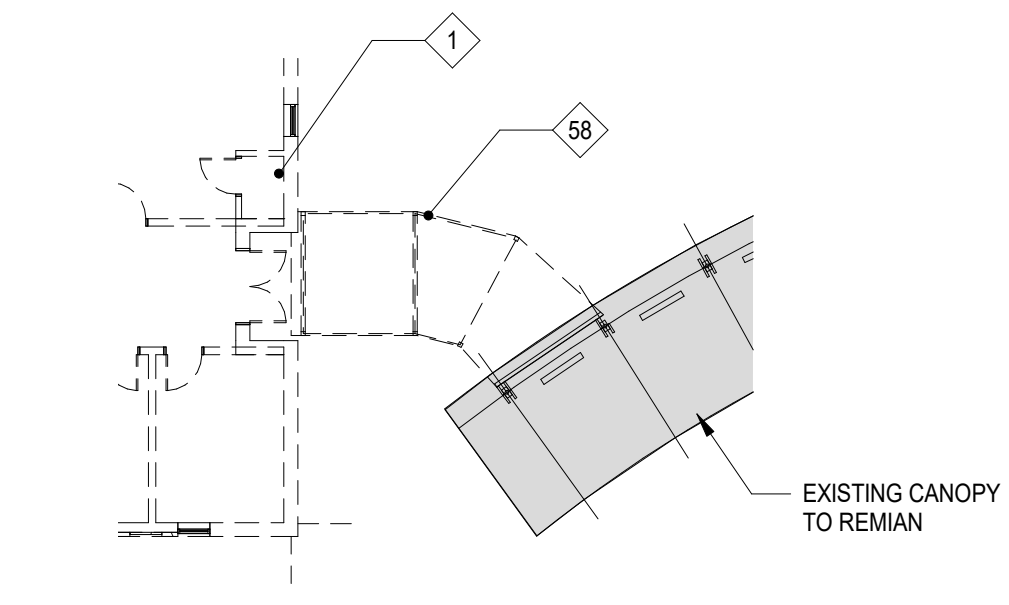
**C2 ENLARGED DETAIL - DEMO**  
 AD406 3/4" = 1'-0"



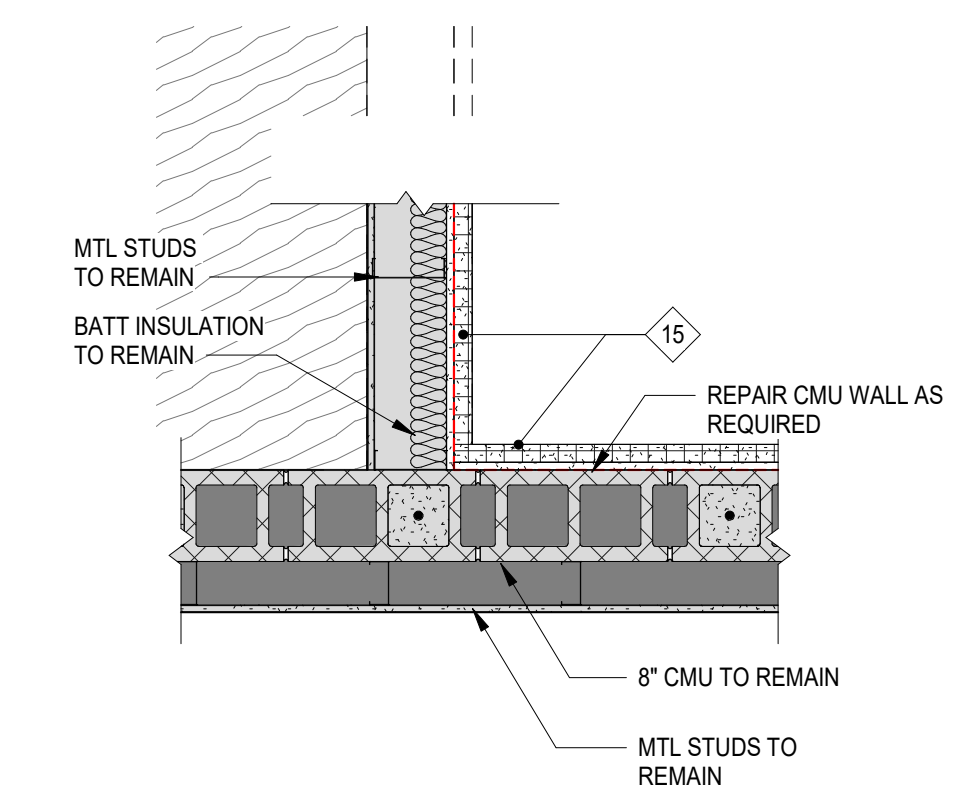
**C3 CANOPY BUILDING SECTION**  
 AD406 1/8" = 1'-0"



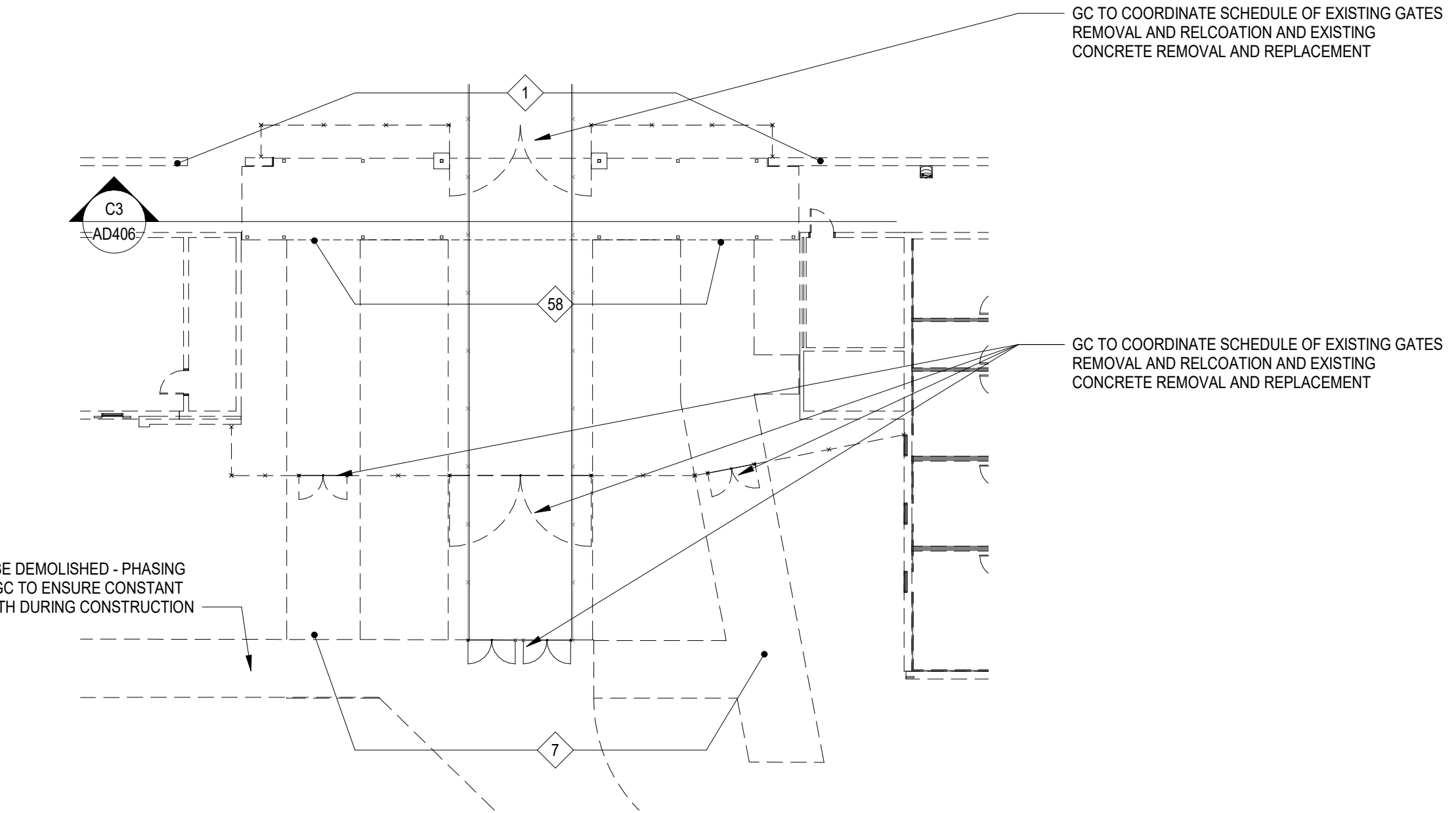
**B2 ENLARGED DETAIL - DEMO**  
 AD406 3/4" = 1'-0"



**B3 ENLARGED PLAN - DEMO**  
 AD406 1/16" = 1'-0"

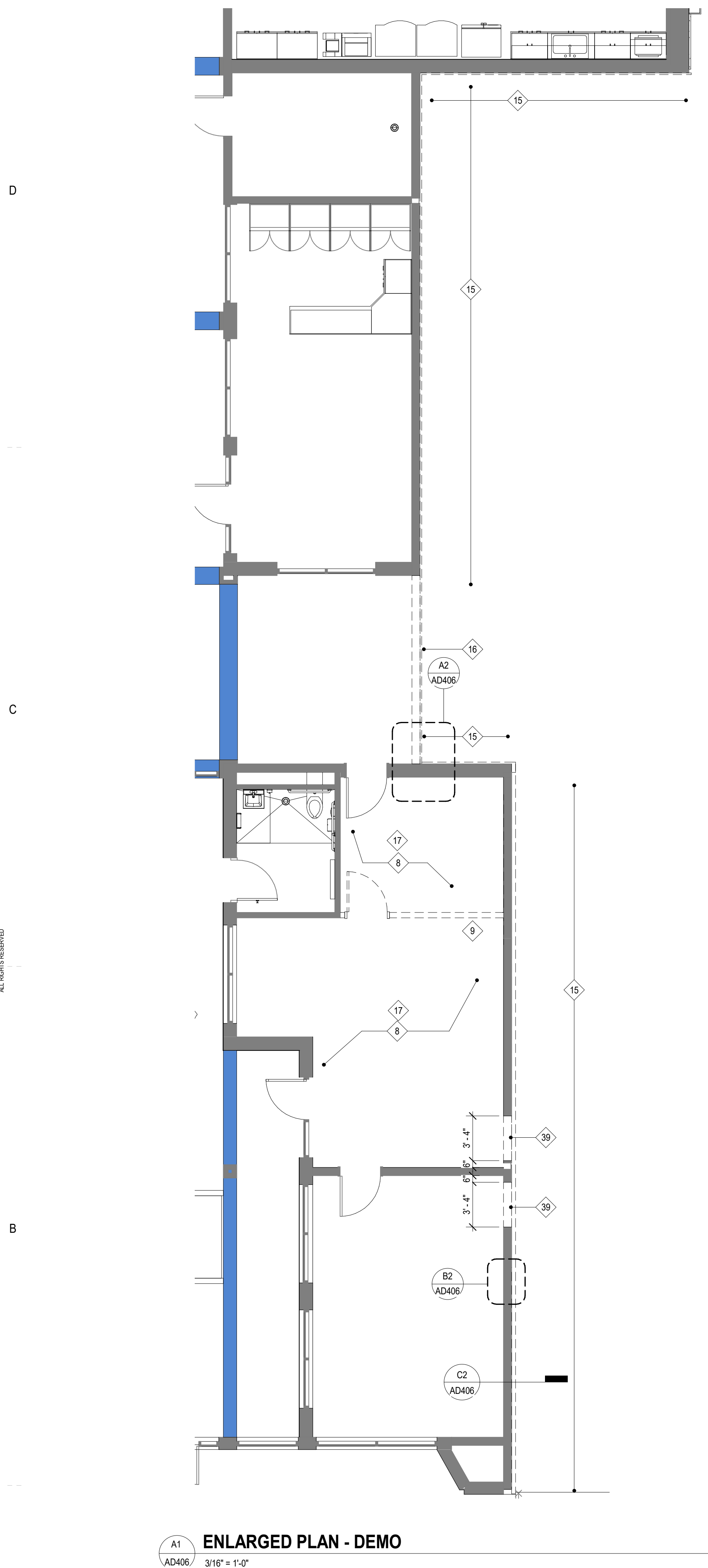


**A2 ENLARGED DETAIL - DEMO**  
 AD406 3/4" = 1'-0"



**A3 ENLARGED PLAN - DEMO**  
 AD406 1/16" = 1'-0"

ALL DRAWINGS, SPECIFICATIONS AND NOTES HEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE DRAWINGS ARE THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE.



**A1 ENLARGED PLAN - DEMO**  
 AD406 3/16" = 1'-0"

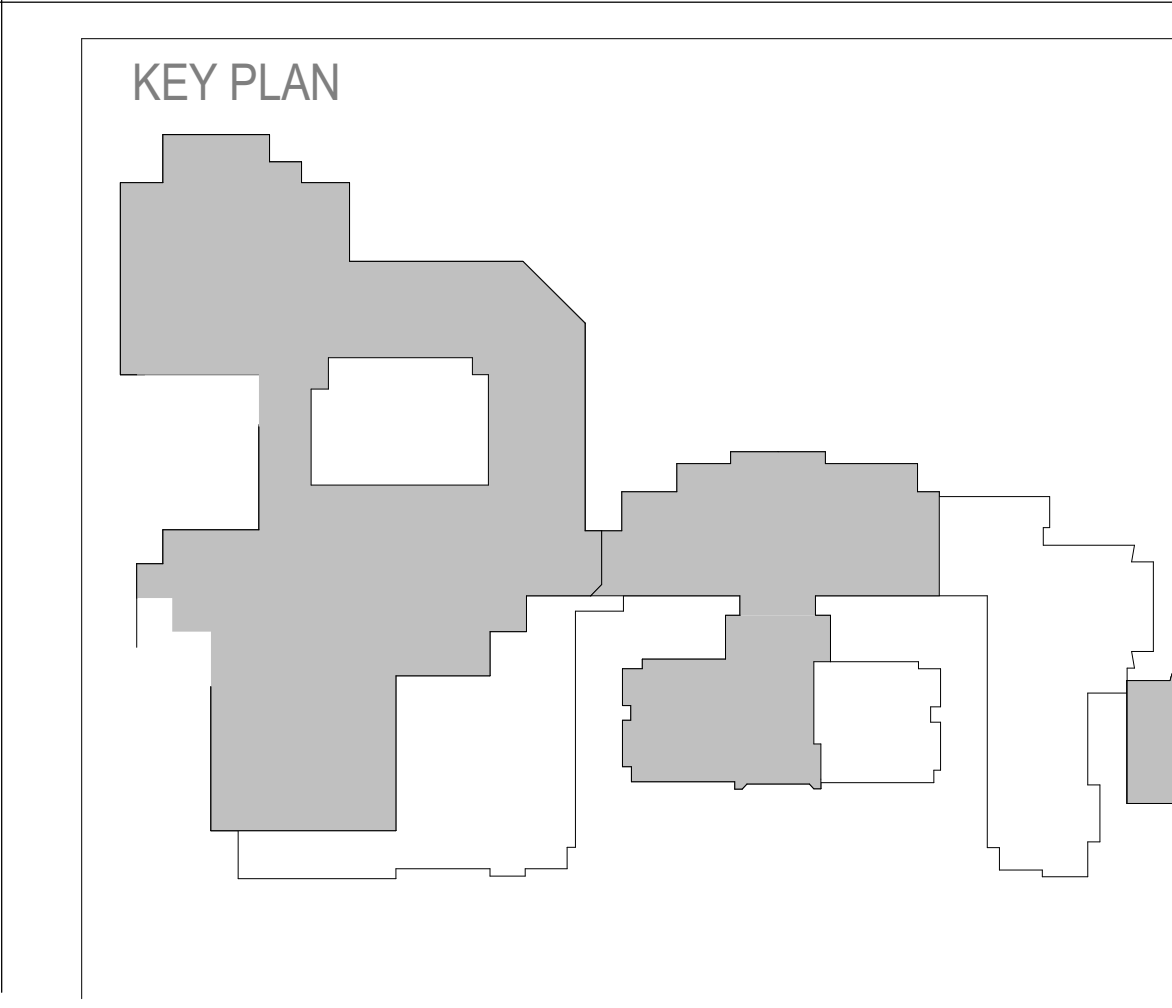
**GENERAL DEMOLITION KEYNOTES**

- |  |  |  |  |  |
|--|--|--|--|--|
| <ol style="list-style-type: none"> <li>DEMOLISH TOTAL EXISTING BUILDING SHOWN HATCHED AND WALL SHOWN DASHED INCLUDING WALLS, FLOOR SLAB, DOORS, WINDOWS, CEILINGS, ROOF, PLUMBING FIXTURES AND ALL ASSOCIATED UTILITIES. AFTER DEMOLITION, ADJACENT WALL SURFACES REMAINING SHALL BE SMOOTH AND FLUSH. ANY PROTRUSIONS AND/OR DEPRESSIONS NEED TO BE REMOVED OR FILLED. WALL SHOULD BE PREPARED FOR INSTALLATION OF EXTERIOR FINISH.</li> <li>REMOVE EXISTING WALL MOUNTED HANDRAIL. REPAIR WALL AS REQUIRED.</li> <li>REMOVE EXISTING SPREAD FOOTING.</li> <li>DEMOLISH EXISTING GUTTER AND DOWNSPOUTS. PREPARE EXISTING FASCIA AS REQUIRED TO FLASH NEW ROOF.</li> <li>DEMOLISH EXISTING SILL WALL AT WINDOWS 1 BLOCK COURSE BELOW FINISHED FLOOR.</li> <li>CAREFULLY REMOVE EXISTING WALK COLLUMN AND FOUNDATION SEE A2/AD403 FOR PLAN AND DETAIL CALLOUTS.</li> <li>DEMOLISH EXISTING EXTERIOR CONCRETE SLAB AND BRICK PAVERS. PREPARE AREA TO RECEIVE NEW CONCRETE FLOOR SLAB.</li> <li>REMOVE EXISTING VCT AND VINYL BASE PROTECT AND REPAIR WALLS DAMAGED DURING DEMOLITION.</li> <li>DEMOLISH EXISTING MTL STUD WALL.</li> <li>DEMOLISH EXISTING ALUM STOREFRONT DOOR AND WINDOW AND PREPARE FOR NEW WALL INFILL.</li> <li>DEMOLISH EXISTING WINDOW AND FRAME. INFILL OPENING WITH NEW WALL. SEE NEW CONSTRUCTION PLANS FOR TYPE. REPAIR ADJACENT WALLS AS REQUIRED.</li> <li>DEMOLISH LAV / UTILITY SINK, CAP SUPPLY AND DRAIN LINES.</li> <li>DEMOLISH AND REMOVE EXISTING FLOOR SLAB AND ASSOCIATED GRAVEL BASE MATERIAL IF REQUIRED TO PREPARE AREA FOR NEW FLOOR SLAB.</li> </ol> | <ol style="list-style-type: none"> <li>DEMOLISH AND REMOVE EXISTING CMU WALL.</li> <li>REMOVE EXISTING TEMPORARY FINISH SYSTEM AND EXTERIOR SHEATHING.</li> <li>REMOVE TEMPORARY STUD WALL AND FINISH SYSTEM.</li> <li>REMOVE EXISTING CEILING TILE, GRID, AND ALL CEILING MOUNTED FIXTURES. REPLACE WITH NEW CEILING. STORE EXISTING FIXTURES FOR FUTURE INSTALLATION.</li> <li>REMOVE EXISTING PARTICLE BOARD SHELVING UNITS. REPAIR WALL AS REQUIRED.</li> <li>REMOVE CERAMIC TILE AND SETTING BED.</li> <li>CAREFULLY REMOVE EXISTING TOILET ROOM FIXTURES. STORE FOR FUTURE REINSTALLATION.</li> <li>REMOVE EXIT SIGN FROM ABOVE DOOR. COORDINATE SCHEDULE OF DEMO WITH USE OF TEMP. EGRESS TUNNEL.</li> <li>COORDINATE ROOF MEMBRANE DEMOLITION AS REQUIRED FOR INSTALLATION OF NEW FLASHING.</li> <li>REMOVE EXISTING ROOF FLASHING AND COUNTER FLASHING AS REQUIRED FOR NEW WALL CONSTRUCTION.</li> <li>REMOVE EXISTING PORTION OF MULTIWYTH WALL TO ELEVATIONS SHOWN ON SECTION.</li> <li>REPAIR / MAINTAIN ROOF CRICKETS TO HAVE ROOF DRAINAGE TO EXISTING ROOF DRAINS.</li> <li>REMOVE EXISTING DOOR, FRAME, AND HARDWARE. REPAIR ADJACENT WALL AND INFILL WITH SIMILAR WALL MATERIAL.</li> <li>CAREFULLY REMOVE ALL FLOOR MOUNTED TOILET FIXTURES. STORE FOR FUTURE REINSTALLATION AT EXISTING LOCATIONS.</li> </ol> | <ol style="list-style-type: none"> <li>REMOVE EXISTING CMU WALL AS REQUIRED FOR INSTALLATION OF NEW HM DOOR REF. DOOR SCHEDULE FOR OPENING SIZE.</li> <li>DEMOLISH EXISTING TOILET PARTITIONS.</li> <li>DEMOLISH PORTION OF EXISTING CMU WALL AND HM DOOR REPAIR ADJACENT SURFACES AS REQUIRED.</li> <li>COORDINATE SITE, PAVEMENT AND UTILITY DEMOLITION IN COURTYARD WITH CIVIL DRAWINGS.</li> <li>DEMOLISH EXISTING FLOOR DRAIN AND HORIZONTAL DRAIN LINES TO VERTICAL DRAIN AND CAP.</li> <li>DEMOLISH EXISTING ROOF DRAIN AND HORIZONTAL DRAIN LINE TO VERTICAL DRAIN AND CAP.</li> <li>DEMOLISH EXISTING OVERFLOW DRAIN, HORIZONTAL DRAIN LINE AND COWS TONGUE DRAIN. PATCH THE WALL THAT REMAINS TO MATCH ADJACENT CONSTRUCTION.</li> <li>REMOVE SURFACE MOUNTED 2 X 4 SHELVES.</li> <li>DEMOLISH POURED IN PLACE CONCRETE STAIR, LANDING, CHEECK WALL, AND RAILINGS.</li> <li>REMOVE EXISTING ROOF FLASHING AND COUNTER FLASHING AS REQUIRED FOR NEW WALL CONSTRUCTION.</li> <li>PATCH OPENINGS CREATED BY ROOF DRAIN, FLOOR DRAIN AND OVERFLOW DRAIN DEMOLITION TO MATCH ADJACENT CONSTRUCTION AND RATINGS.</li> <li>REMOVE EXISTING ROOF EAVE FLASHING AND BLOCKING.</li> <li>MODIFY EXISTING STUDS WALL AS REQUIRED FOR INSTALLATION OF NEW HM FRAME.</li> <li>REMOVE ALL SURFACE MOUNTED LIGHTS, CCTV CAMERAS, PULL STATIONS AND MISC CONDUITS.</li> </ol> | <ol style="list-style-type: none"> <li>REMOVE EXISTING KILN AND ALL ASSOCIATED ELECTRICAL DISCONNECTS.</li> <li>CAREFULLY REMOVE OVER STAGE LIGHTING, SUPPORT SYSTEM, CONDUITS AND LIGHTING CONTROL SYSTEMS. TURN OVER TO OWNER.</li> <li>REMOVE WALL MOUNTED ACOUSTICAL PANELS, TACK BOARDS, MOUNTED SHELVES, WHITE BOARDS AND MIRRORS. REPAIR WALLS AS REQUIRED.</li> <li>REMOVE EXISTING INTERNAL COMMUNICATION HANDSET AND CONDUIT.</li> <li>REMOVE EXISTING SURFACE MOUNTED ELECTRICAL RACEWAY.</li> <li>REMOVE EXISTING CEILING MOUNTED VIDEO PROJECTOR AS INDICATED ON DEMOLITION DRAWINGS AND TURN OVER TO OWNER.</li> <li>REMOVE EXISTING CASEWORK AND INTEGRATED ELECTRICAL CONDUIT, OUTLET BOXES AND DISCONNECT.</li> <li>REMOVE EXISTING CEILING TILE GRID TO REMAIN.</li> <li>PREPARE EXISTING CMU SLAB TO RECEIVE NEW VCT FLOORING.</li> <li>REMOVE DAMAGED FLOORING AS REQUIRED AND REPLACE WITH FLOORING TO MATCH EXISTING FLOORING IN COLOR, PROFILE AND FINISH.</li> <li>REMOVE EXISTING WOOD STUD WALLS, CLG JOIST, PLYWOOD CLG AND STEPS.</li> <li>REMOVE EXISTING WALL, BASE CABINETS, SURFACE MOUNTED SOAP AND PAPER TOWEL DISPENSERS REPAIR WALL AS REQUIRED.</li> <li>REMOVE EXISTING FIRE CABINET, STORE FOR FUTURE RELOCATION. REMOVE EXISTING PORTION OF VENT AND CAP. VERIFY CAPPED PORTION IS ABOVE NEW CLG.</li> </ol> | <ol style="list-style-type: none"> <li>REMOVE EXISTING PAPER TOWEL AND SOAP DISPENSERS REPAIR WALL AS REQUIRED.</li> <li>WOOD SHELVING UNITS TO BE REMOVED BY OWNER.</li> <li>DEMOLISH EXISTING CMU WING WALL WITH PRECAST CONCRETE TOP.</li> <li>REMOVE EXISTING CONCRETE SLAB AND BASE AS REQUIRED FOR INSTALLATION OF NEW STORM DRAIN REF. CIVIL DRAWINGS.</li> <li>REMOVE EXISTING ALUMINUM CANOPY OR PORTION OF CANOPY AS SHOWN OF ALL COLUMNS, FOUNDATIONS AND LIGHTS.</li> <li>REMOVE EXISTING TERRAZZO FLOOR FINISH AND PREPARE SLAB TO RECEIVE NEW FLOOR FINISH.</li> </ol> |
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**DEMOLITION LEGEND**

- EXISTING BUILDING TO REMAIN
- GENERAL CONTRACTOR TO DEMOLISH EXISTING BUILDING IN AREAS INDICATED BY HATCH, WHERE A WALL TO BE REMOVED ABUTS AN EXISTING WALL THAT REMAINS. CLEAN MORTAR FROM EXISTING WALL. REMOVE ALL ANCHORS AND SUPPORTS AND REPLACE ANY MASONRY UNITS THAT ARE DAMAGED. POINT UP ALL JOINTS SO THAT FINISHED WALL DOES NOT SHOW EVIDENCE OF OLD JOINT. DO NOT REMOVE WALLS AT BORDER OF HATCH.
- EXISTING CONCRETE SLAB TO BE DEMOLISHED
- EXISTING CONCRETE SLAB TO REMAIN
- EXISTING VCT AND WALL BASE TO BE REMOVED
- EXISTING TILE AND SETTING BED TO BE REMOVED
- LOCATION OF EXISTING 3-HR AND/OR 4-HR FIREWALLS

**KEY PLAN**





GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING ALL WORK DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA REGULATIONS ON THE PROJECT SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS SHOWN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION AND CONSTRUCTION.

2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR TO PERFORM THE CONSTRUCTION WORK IN ACCORDANCE WITH DRAWINGS. THE COST OF ANY TESTS OR WORK REQUIRED BECAUSE OF CONTRACTOR'S FAILURE TO PERFORM IN ACCORDANCE WITH THE DRAWINGS SHALL BE BORNE BY THE CONTRACTOR.

3. CONTRACTOR SHALL REFER TO OTHER DISCIPLINE'S DRAWINGS AND VISIT SITE TO OBSERVE (E) CONSTRUCTION AND AS-BUILT CONDITIONS. SURVEY PROJECT SITE TO LOCATE UNDERGROUND ITEMS & UTILITIES. REMOVE / RELOCATE EXISTING ITEMS IF REQUIRED FOR NEW CONSTRUCTION. COORDINATE ANY DISRUPTION OF SERVICES WITH OWNER.

4. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND SITE PLAN DRAWINGS TO COORDINATE ALL DIMENSIONS AND ELEVATIONS RELATED TO WORK SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH THE FABRICATOR. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL COORDINATE ALL ROOF, FLOOR, AND WALL OPENINGS WITH STRUCTURAL, ARCHITECTURAL, AND MECHANICAL DRAWINGS.

6. ALL MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, CURRENT EDITION.

7. REFERENCE TO STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION, OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE LATEST STANDARD, CODE, SPECIFICATION, UNLESS SPECIFICALLY STATED OTHERWISE.

8. BOTH BAILEY AND SON ENGINEERING, INC. AND THE ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED TO THESE CONTRACT DRAWINGS DISCLAIM ANY IMPLIED WARRANTIES OF ANY KIND WHATSOEVER INCLUDING THE IMPLIED WARRANTY OF MERCHANTABILITY, THE IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE AND ANY IMPLIED WARRANTY OF FITNESS OF THESE DRAWINGS AND/OR SPECIFICATIONS.

9. THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION. DRAWINGS SHALL BEAR THE CONTRACTOR'S APPROVAL STAMP ACCEPTING RESPONSIBILITY FOR DIMENSIONS, QUANTITY, QUALITY, AND COORDINATION WITH ALL DISCIPLINES. ELECTRONIC TRANSFER OF CAD FILES TO AID THE CONTRACTOR OR FABRICATOR IS NOT RECOMMENDED BUT AUTOCAD DWG.

10. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES, NOTIFY THE ENGINEER FOR INTERPRETATION.

11. THE REHABILITATION OF AN EXISTING STRUCTURE REQUIRES ASSUMPTIONS TO BE MADE REGARDING EXISTING CONDITIONS. THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT ADDITIONAL COST OR WITHOUT DESTROYING OTHERWISE SERVICEABLE PORTIONS OF THE STRUCTURE. THE ENGINEER SHALL NOT BE LIABLE FOR ANY COST ARISING FROM THE DISCOVERY OF UNKNOWN CONDITIONS IN THE EXISTING STRUCTURE.

12. THE DETAILER SHALL WORK WITH THE STRUCTURAL AND ARCHITECTURAL DOCUMENTS WHILE PREPARING SHOP DRAWINGS. THE DETAILER SHALL REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN. IF THE DETAILER ELECTS TO SCALE THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN, THE DETAILER SHALL SUBMIT SHOP DRAWINGS THAT REQUIRE ARCHITECTURAL VERIFICATION OF SCALED DIMENSIONS WHEN SUBMITTED FOR APPROVAL.

13. WALL, DOOR, WINDOW LOCATIONS; AND LIMITS OF SLAB ON GRADE EDGES, RECESSED, DEPRESSED AND SLOPED AREAS, AND LIMITS OF ROOF & FLOOR DECK (EDGES & OPENINGS) ARE PRIMARILY THE RESPONSIBILITY OF THE ARCHITECT. CONTRACTOR SHALL ESTABLISH OR DETERMINE SUCH INFORMATION BASED ON ARCHITECTURAL DOCUMENTS PRIOR TO ANY FABRICATION OR CONSTRUCTION OF CONCRETE OR STEEL.

DESIGN LOADS AND CRITERIA: INTERNATIONAL BUILDING CODE, 2021 EDITION

FLOOR DEAD LOAD: 70 psf
FLOOR LIVE LOAD: 40 psf (CLASSROOMS)
50 psf (OFFICES)
80 psf (CORRIDORS ON 2ND AND 3RD FLOOR)
100 psf (AT STAIRS)
100 psf (MEDIA CENTER)

ROOF DEAD LOAD: 20 psf
ROOF LIVE LOAD: 20 psf W/ LIVE LOAD REDUCTION AS ALLOWABLE BY CODE

SNOW LOADS:

GROUND SNOW LOAD, P\_g = 10 psf
FLAT ROOF SNOW LOAD, P\_f = 7 psf
EXPOSURE FACTOR, C\_e = 1.0
IMPORTANCE FACTOR, I\_s = 1.1
THERMAL FACTOR, C\_t = 1.0

WIND LOAD:

ULTIMATE WIND SPEED (3-SEC. GUST) = 115 MPH
NOMINAL WIND SPEED (3-SEC. GUST) = 89.1 MPH
RISK CATEGORY: III
WIND EXPOSURE: C

COMPONENTS AND CLADDING: PER ASCE 7-10, CHAPTER 30, SECT. 30.7 WITH APPLICABLE ADJUSTMENT FACTORS.
INTERNAL PRESSURE COEFFICIENT: G\_cpi = +/- 0.18 <ASCE 7-10, TABLE 26.11-1>

SEISMIC DESIGN DATA:

RISK CATEGORY: III
IMPORTANCE FACTOR, I\_p = 1.25
SOIL SITE CLASS: C
MAPPED SPECTRAL RESPONSE ACCELERATIONS: S\_s = 0.279g, S\_1 = 0.192g
SPECTRAL RESPONSE COEFFICIENTS: S\_ds = 0.237g, S\_d1 = 0.138g
SEISMIC DESIGN CATEGORY: B

BASIC SEISMIC-FORCE-RESISTING SYSTEM(S):

STRUCTURAL STEEL NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
SEISMIC RESPONSE COEFFICIENT(S):
C\_s = 0.101
RESPONSE MODIFICATION FACTORS:
R (NORTH/SOUTH) = 3
R (EAST/WEST) = 3
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

FOUNDATION NOTES:

1. FOUNDATIONS ARE DESIGNED FOR 3000 PSF ALLOWABLE SOIL BEARING PRESSURE AND A SOIL SUBGRADE MODULUS (K) OF 140 PCI. CONTRACTOR SHALL VERIFY ADEQUACY OF FOOTING AND SLAB SUBGRADE TO SUPPORT THIS LOADING. EXCAVATE ALL SOIL UNSUITABLE FOR FOUNDATION OR SLAB SUPPORT AS DETERMINED BY A GEOTECHNICAL ENGINEER.

2. FILL UNDER BUILDING SLABS TO BE COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698), WITH THE UPPERMOST 12 INCHES COMPACTED TO 98% OF THE SAME SPECIFICATION. MOISTURE CONTENT OF THE FILL, WHILE IT IS BEING COMPACTED, SHALL BE WITHIN 5% OF THE STANDARD PROCTOR OPTIMUM MOISTURE CONTENT.

3. A 6" LAYER OF CRUSHED STONE SHALL BE PLACED BENEATH THE SLAB ON GRADE. THE CRUSHED STONE SHOULD CONSIST OF MACADAM BASE COURSE COMPACTED TO AT LEAST 98% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY.

4. OWNER MAY RETAIN AN INDEPENDENT GEOTECHNICAL ENGINEER FOR TESTING COMPACTION AND INSPECTIONS OF ALL FOOTING AND SLAB SUBGRADE. TEST AND INSPECTION RESULTS SHALL BE REPORTED IN WRITING TO THE ENGINEER AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS ARE MADE. THE COST OF ANY TESTS OR ADDITIONAL WORK REQUIRED DUE TO IMPROPERLY COMPACTED FILL SHALL BE BORNE BY THE CONTRACTOR.

5. THE FOUNDATION IS DESIGNED AS RECOMMENDED BY SAME, INC. REPORT DATED SEPTEMBER 19, 2014. THE ENGINEER IS NOT RESPONSIBLE FOR SUBSURFACE CONDITIONS ENCOUNTERED IN THE FIELD CONTRARY TO THOSE ASSUMED FOR DESIGN.

6. SUBGRADE MATERIALS AND THEIR INSTALLATION SHALL BE AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

7. THE CONTRACTOR SHALL RETAIN A COPY OF THE SUBSURFACE REPORT ON PROJECT SITE AND SHALL FOLLOW ALL CONSTRUCTION AND FOUNDATION RECOMMENDATIONS OR PROCEDURES THEREIN. RECOMMENDATIONS MADE IN THE REPORT SHALL BE CONSTRUED AS PROJECT SPECIFICATIONS FOR SITE PREPARATION AND FOUNDATION CONSTRUCTION.

STRUCTURAL STEEL NOTES:

1. DESIGN, FABRICATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION, 15TH EDITION, UNLESS NOTED OTHERWISE.

2. MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS:

WIDE FLANGE STRUCTURAL STEEL.....ASTM A992, GRADE 50
STRUCTURAL STEEL.....ASTM A36
STRUCTURAL TUBING.....ASTM A500, GRADE B, FY (MIN) = 46 KSI
BOLTS.....ASTM A325-N
WELDING ELECTRODES.....AWS-A5.1, E70XX LOW HYDROGEN (OR EQUAL)
STEEL PIPE.....ASTM A53, TYPE E OR S, GRADE B

3. ALL STRUCTURAL WELDING SHALL BE MADE BY A CERTIFIED WELDER IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS D1.1. MINIMUM SIZE OF FILLET WELD SHALL BE 1/8" SMALLER THAN MATERIAL THICKNESS OF THICKER PART JOINED, UNLESS NOTED OTHERWISE. ALL WELDING ELECTRODE STORAGE FOR LOW-HYDROGEN ELECTRODES SHALL BE STORED @ 250' WHEN EXPOSURE EXCEEDS REQUIREMENTS OF COLUMN A, TABLE E1 OF AWS. WELD CLEANING AND PAINTING OF COMPLETED WELDS SHALL BE IN ACCORDANCE WITH AWS.

4. UNLESS NOTED OTHERWISE ON THE PLANS, CONNECTIONS SHALL DEVELOP AT LEAST ONE-HALF OF THE TOTAL UNIFORM LOAD CAPACITY TABULATED IN THE TABLES OF THE AISC MANUAL FOR THE GIVEN SECTION AND SPAN OF THE BEAM IN QUESTION. IN NO CASE, HOWEVER, SHALL THE LENGTH OF FRAMED CONNECTIONS BE LESS THAN ONE-HALF THE "T" DIMENSION OF THE BEAM WEB. CONNECTIONS INDICATED ON THE PLANS BY "" SHALL CONTAIN THE MAXIMUM NUMBER OF ROWS OF BOLTS, AT 3" PITCH, THAT CAN BE FIT IN A CLIP ANGLE WHOSE LENGTH EQUALS THE "T" DIMENSION OF THE BEAM.

5. ALL BOLTED CONNECTIONS SHALL BE BEARING-TYPE USING 3/4" DIAMETER AND BROUGHT TO A SNUG TIGHT CONDITION. A325-N BOLTS WITH THREADS INCLUDED IN SHEAR PLANE, UNLESS NOTED OTHERWISE.

6. SHOP CONNECTIONS MAY BE BOLTED OR WELDED.

7. FIELD CONNECTIONS SHALL BE BOLTED UNLESS NOTED OTHERWISE ON DRAWINGS.

8. SURFACE PREPARATIONS FOR STRUCTURAL STEEL, SUBJECT TO EXTERIOR ENVIRONMENTAL CONDITIONS SHALL BE CLEANED IN ACCORDANCE WITH SSPC-COMMERCIAL BLAST CLEANING AND PRIMED WITH SSPC PAINT 31. STEEL NOT SUBJECT TO EXTERIOR ENVIRONMENTAL CONDITIONS SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP2 (HAND TOOL CLEANING), AND PRIMER WITH SSPC PAINT 15, OR BETTER, 2 MILS DFT AND SHALL BE COMPATIBLE WITH OVERCOAT.

LOOSE STEEL LINTELS, ANGLES, LINTEL BOTTOM PLATES, JOISTS AND LINTEL BEARING PLATES, ETC. SHALL BE GALVANIZED, PROPERLY CLEAN SURFACES PRIOR TO WELDING. SEE PROJECT SPECIFICATIONS FOR GALVANIZED MEMBERS THAT MUST BE PRIMED AND PAINTED.

9. PROVIDE MISCELLANEOUS STEEL & SUPPORT ANGLES AROUND COLUMN AND OTHER FLOOR AND ROOF PENETRATIONS AND OPENINGS REQUIRED TO SUPPORT ENDS AND EDGES OF METAL DECK.

10. PROVIDE 3" CONCRETE COVER OVER ALL STEEL BELOW GRADE, EXPOSED TO WEATHER, OR SUBJECT TO MOISTURE.

11. WHEN STRUCTURAL STEEL SPECIAL INSPECTIONS IN ACCORDANCE WITH IBC, CHAPTER 17 APPLY:

- A. THE CONTRACTOR SHALL PROVIDE THE STEEL INSPECTOR:
1. WELDER QUALIFICATION CERTIFICATES (DATED WITHIN THE PAST 48 MONTHS)
2. WELD PROCEDURES FOR WHICH WELDERS ARE CERTIFIED.
3. ELECTRODE TYPE TO BE USED FOR STRUCTURAL STEEL.
4. ELECTRODE TYPE TO BE USED FOR METAL DECKING.

B. ALL PJP AND CJP WELDS SHALL BE CONTINUOUSLY MONITORED DURING WELDING.
C. ALL MULTIPASS FILLET WELDS SHALL BE CONTINUOUSLY MONITORED DURING WELDING.
D. SINGLE-PASS FILLET WELDS GREATER THAN 5/16" SHALL BE CONTINUOUSLY MONITORED DURING WELDING.

E. INSTALLATION OF HIGH-STRENGTH BOLTS SHALL BE PERIODICALLY INSPECTED DURING INSTALLATION.
F. VERIFICATION OF HIGH STRENGTH BOLTS WILL BE REQUIRED.
G. BEARING-TYPE CONNECTIONS SHALL REQUIRE PERIODIC INSPECTION.

12. PIPING GREATER THAN 4" Ø SHALL BE SUPPORTED @ 10'-0" O.C. MAX. AND SHALL BE CONSIDERED IN THE DESIGN.

POST-INSTALLED REBAR, ANCHORS AND FASTENERS

THE BELOW PRODUCTS ARE THE DESIGN BASIS FOR THIS PROJECT. PRODUCT DIAMETER AND EMBEDMENT SHALL BE AS SHOWN IN THE DETAILS. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPI). PRIOR TO INSTALLATION, CONTRACTOR SHALL CONTACT MANUFACTURER'S REPRESENTATIVE FOR PRODUCT-SPECIFIC INSTALLATION TRAINING AND A LETTER SHALL BE SUBMITTED TO THE ENGINEER-OF-RECORD (EOR) INDICATING TRAINING HAS TAKEN PLACE. UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS, REFER TO THE PROJECT BUILDING CODE AND/OR EVALUATION REPORT FOR REQUIRED SPECIAL INSPECTIONS AND PROOF LOAD REQUIREMENTS. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE LISTED BELOW MAY BE SUBMITTED BY THE CONTRACTOR TO THE EOR FOR REVIEW. SUBSTITUTIONS WILL ONLY BE CONSIDERED FOR PRODUCTS HAVING A RESEARCH REPORT RECOGNIZING THE PRODUCT FOR THE APPROPRIATE APPLICATION UNDER THE PROJECT BUILDING CODE. SUBSTITUTION REQUESTS SHALL INCLUDE CALCULATIONS THAT DEMONSTRATE THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE EQUIVALENT PERFORMANCE VALUES OF THE DESIGN BASIS PRODUCT.

- 1. FOR ANCHORING INTO CONCRETE
a. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 308.2 AND ICC-ES AC193 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-2713)
2. SIMPSON STRONG-TIE "TITEN-HD ROD HANGER" (ICC-ES ESR-2713)
b. ADHESIVE FOR REBAR AND ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 308.4 AND ICC-ES AC308 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS. DESIGN BOND STRENGTH HAS BEEN BASED ON CRACKED CONCRETE, ACI 308.4 TEMPERATURE CATEGORY B, AND INSTALLATIONS INTO DRY HOLES DRILLED USING A HAMMER DRILL INTO CONCRETE THAT HAS CURED FOR AT LEAST 21 DAYS. ADHESIVE ANCHORS SHALL BE INSTALLED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER WHEN REQUIRED PER ACI 318-11 D.9.2.2. INSTALLATIONS REQUIRING CERTIFIED INSTALLERS SHALL BE INSPECTED PER ACI 318-11 D.9.2.4. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "AT-XP" (APMO-UES ER-265)
2. SIMPSON STRONG-TIE "SET-XP" (ICC-ES ESR-265) (G.C. OPTION @ 50' F OR WARMER)
3. POWER-ACTUATED FASTENERS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC70. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "GAS ACTUATED PINS" (ICC-ES ESR-2811)
2. SIMPSON STRONG-TIE "POWDER ACTUATED PINS" (ICC-ES ESR-2138)
c. FOR ANCHORING INTO MASONRY
a. SOLID-GROUTED CONCRETE MASONRY
1. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC01 OR ICC-ES AC106. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-1056)
2. ADHESIVE FOR REBAR AND ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC08. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "AT-XP" (APMO-UES ER-261)
2. SIMPSON STRONG-TIE "SET-XP" (APMO-UES ER-265) (G.C. OPTION @ 50' F OR WARMER)
3. SIMPSON STRONG-TIE "ET-HP" (APMO-UES ER-241) (G.C. OPTION @ 50' F OR WARMER)
b. HOLLOW CONCRETE MASONRY
1. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC106. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-1056)
2. ADHESIVE FOR REBAR AND ANCHORS WITH SCREEN TUBES SHALL HAVE BEEN TESTED FOR USE IN ACCORDANCE WITH ICC-ES AC08. THE APPROPRIATE SCREEN TUBE SHALL BE USED AS RECOMMENDED BY THE ADHESIVE MANUFACTURER. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "SET-XP" (APMO-UES ER-265) (TEMP. ABOVE 50' F)
2. SIMPSON STRONG-TIE "GAS ACTUATED PINS" (ICC-ES ESR-2811)
3. POWER-ACTUATED FASTENERS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC70. PRE-APPROVED PRODUCTS INCLUDE:
1. SIMPSON STRONG-TIE "GAS ACTUATED PINS" (ICC-ES ESR-2811)
2. SIMPSON STRONG-TIE "POWDER ACTUATED PINS" (ICC-ES ESR-2138)
b. FOR FASTENING INTO STEEL. POWER-ACTUATED FASTENERS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC70. PRE-APPROVED PRODUCTS INCLUDE:
a. SIMPSON STRONG-TIE "GAS ACTUATED PINS" (ICC-ES ESR-2811)
b. SIMPSON STRONG-TIE "POWDER ACTUATED PINS" (ICC-ES ESR-2138)

TYPICAL ABBREVIATIONS:

A.R.....ANCHOR ROD
A.C.I.....AMERICAN CONCRETE INSTITUTE
A.I.S.C.....AMERICAN INSTITUTE OF STEEL CONSTRUCTION
A.I.S.I.....AMERICAN IRON AND STEEL INSTITUTE
A.P.A.....AMERICAN PLYWOOD ASSOCIATION
A.R.C.H.....ARCHITECTURAL
A.F.P.A.....AMERICAN FOREST AND PAPER ASSOCIATION
A.S.C.E.....AMERICAN SOCIETY OF CIVIL ENGINEERS
A.S.T.M.....AMERICAN SOCIETY FOR TESTING AND MATERIALS
B.A.S.E., I.N.C.....BAILEY & SON ENGINEERING, INC.
B.O.T.O.M.....BOTTOM CHORD
B.C.....BOTTOM OF
B.L.K.G.....BLOCKING
B.O.D.....BOTTOM OF DECK
B.R.G.....BEARING
C.J.....CONTROL JOINT
C.M.....CENTER LINE
C.L.R.....CLEAR
C.M.U.....CONCRETE MASONRY UNIT
C.O.N.T.....CONTINGENT
D.B.E.....DECK BEARING ELEVATION
D.B.L.....DOUBLE
D.I.A.....DIAMETER
D.L.....DEAD LOAD
(E).....EXISTING
E.W.....EACH WAY
E.O.S.....EDGE OF SLAB
E.N.....EDGE NAIL
F.N.....FINISHED OR FINAL
F.I.N.F.L.R.....FINISHED FLOOR
F.L.R.....FLOOR
F.C.....SPECIFIED CONCRETE STRENGTH @ 28 DAYS
F.O.B.....FACE OF BRICK
F.O.M.....FACE OF MASONRY
F.S.....FINISH
F.T.....FOOT OR FEET
G.A.....GAUGE
G.A.L.V.....GALVANIZED
G.L.B.....GLU-LAMINATED BEAM
H.D.....HOLLOW/DOWN
H.C.....INTERIOR BUILDING CODE
H.O.R.I.Z.....HORIZONTAL
H.S.S.....HOLLOW STRUCTURAL SECTION
I.B.C.....INTERNATIONAL BUILDING CODE
I.N.....INCH OR INCHES
I.R.C.....INTERNATIONAL RESIDENTIAL CODE
I.C.B.G.....INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
I.C.C.....INTERNATIONAL CODE COUNCIL
J.B.E.....JOIST BEARING ELEVATION
L.B.....POUND
L.L.....LIVE LOAD
L.H.....LONG LEG HORIZONTAL
L.L.V.....LONG LEG VERTICAL
L.S.L.....LAMINATED STRAND LUMBER
(L.N).....LAMINATED VENEER LUMBER
L.B.W.....LOAD BEARING WALL
J.T.....JOINT
K.T.....KNOT
J.H.....JOIST HANGER
M.F.R.....MANUFACTURER
M.A.X.....MAXIMUM
M.I.N.....MINIMUM
M.L.....MATCHLINE
(N).....NEW
N.T.S.....NOT TO SCALE
O.C.....ON CENTER
O.E.....OUTSIDE EDGE
O.H.....OPPOSITE HAND
O.S.B.....ORIENTED STRAND BOARD
O.W.T.....OPEN WEB TRUSS
P.A.F.....POWDER ACTUATED FASTENER
P.O.F.....POWDER DRIVEN FASTENER
P.E.M.....PANEL EDGE NAIL
P.E.M.B.....PRE-ENGINEERED METAL BUILDING
P.F.....PARTIAL FRAME
P.L.....PLATE
P.L.C.S.....PLACES
P.L.F.....POUNDS PER LINEAR FOOT
P.S.F.....POUNDS PER SQUARE FOOT
P.S.I.....POUNDS PER SQUARE INCH
P.S.L.....PARALLEL STRAND LUMBER
P.T.....PRESSURE TREATED
R.F.....RIGID FRAME
S.H.T.G.....SHEATHING
S.I.I.....STEEL JOIST INSTITUTE
S.D.I.....STEEL DECK INSTITUTE
S.O.G.....SLAB ON GRADE
S.Q.....SQUARE
S.T.L.....STEEL
T.S.....TON (2000 LBS.)
T.A.B.....TOP AND BOTTOM
T.C.....TOP CHORD
T.I.....TOP OF
T.H.K.D.....THICKENED
T.O.C.....TOP OF CONCRETE
T.S.....THICKENED SLAB
T.Y.P.....TYPICAL
U.N.L.S.....UNLESS NOTED OTHERWISE
V.B.....VAPOR BARRIER
V.E.R.T.....VERTICAL
V.I.F.....VERIFY IN FIELD
V.V.A.....VERIFY WITH ARCHITECT
W.W.F.....WELDED WIRE FABRIC
Y.D.....YARD (3 FT.)
Ø.....DIAMETER



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SPARTANBURG SCHOOL DISTRICT 5
JAMES F. BYRNES HIGH SCHOOL
PHASE 3 DEMOLITION
150 E. MAIN STREET
DUNCAN, S.C. 29504

Table with 5 columns: SHEET ISSUE, NO, DATE, DESCRIPTION, BY. Row 1: B, 03/08/24, GMP DEMO SET, PGG

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PRINCIPAL IN CHARGE: PGG
PROJECT ENGINEER: ZB, AP
DRAWN BY: MP, JG

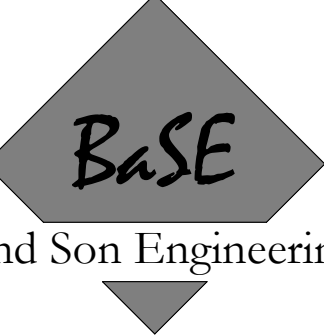
SHEET TITLE:
PROJECT NOTES & DESIGN CRITERIA

SHEET NO. PROJ. NO. 23056

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SD001





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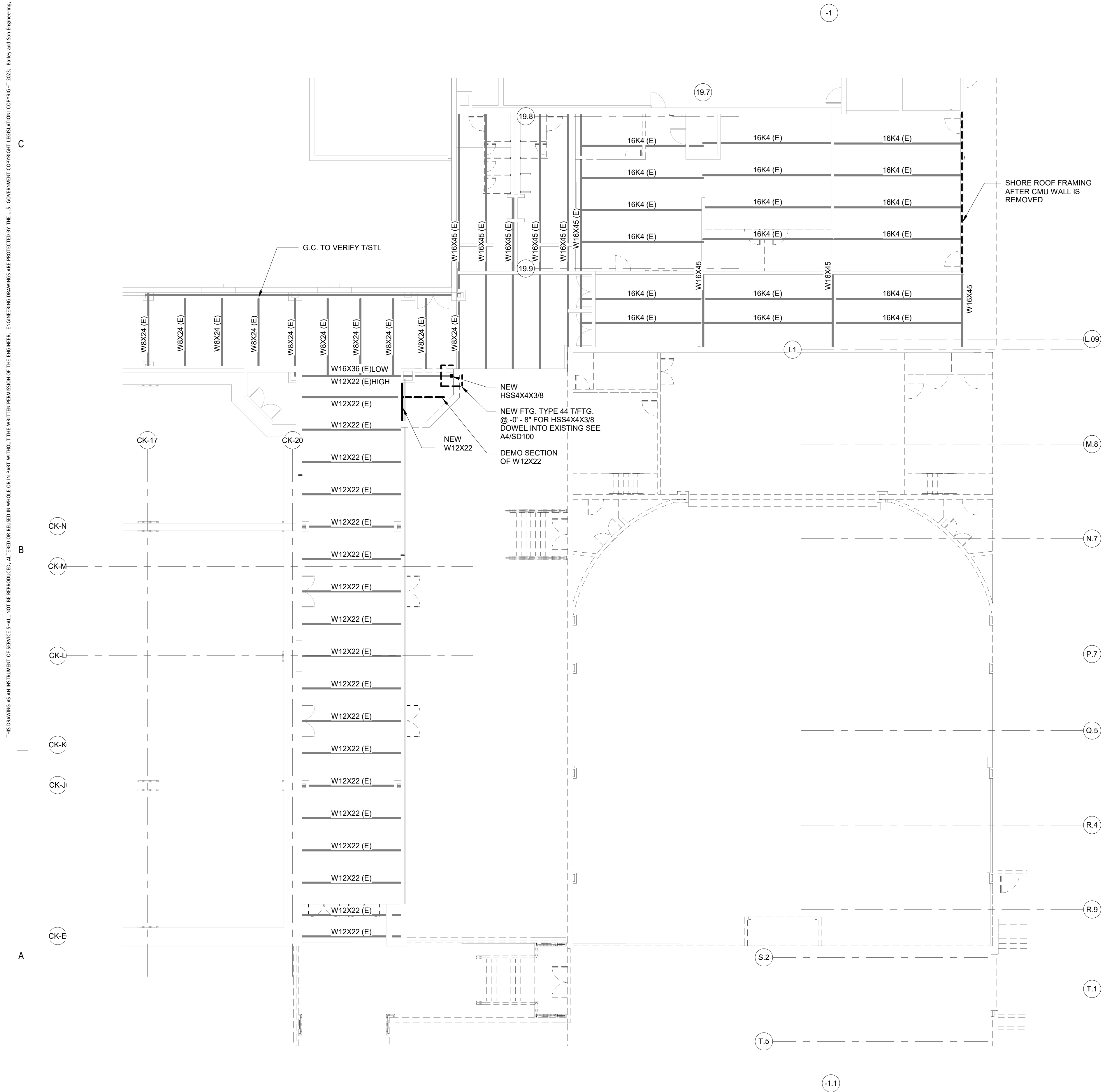
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PROJECT ENGINEER:	ZB, AP
DRAWN BY:	MP, JG

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DEMOLITION PLANS**

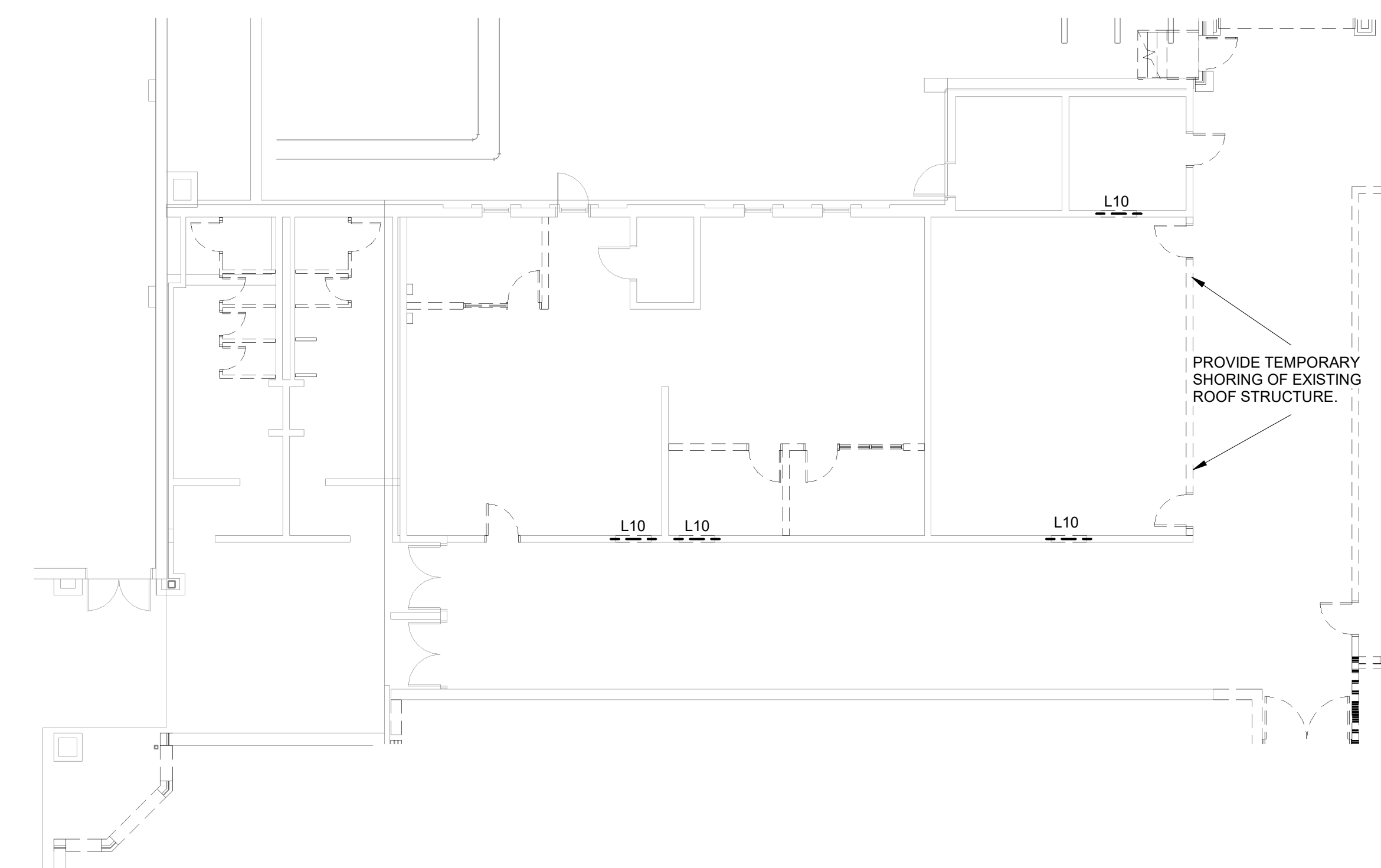
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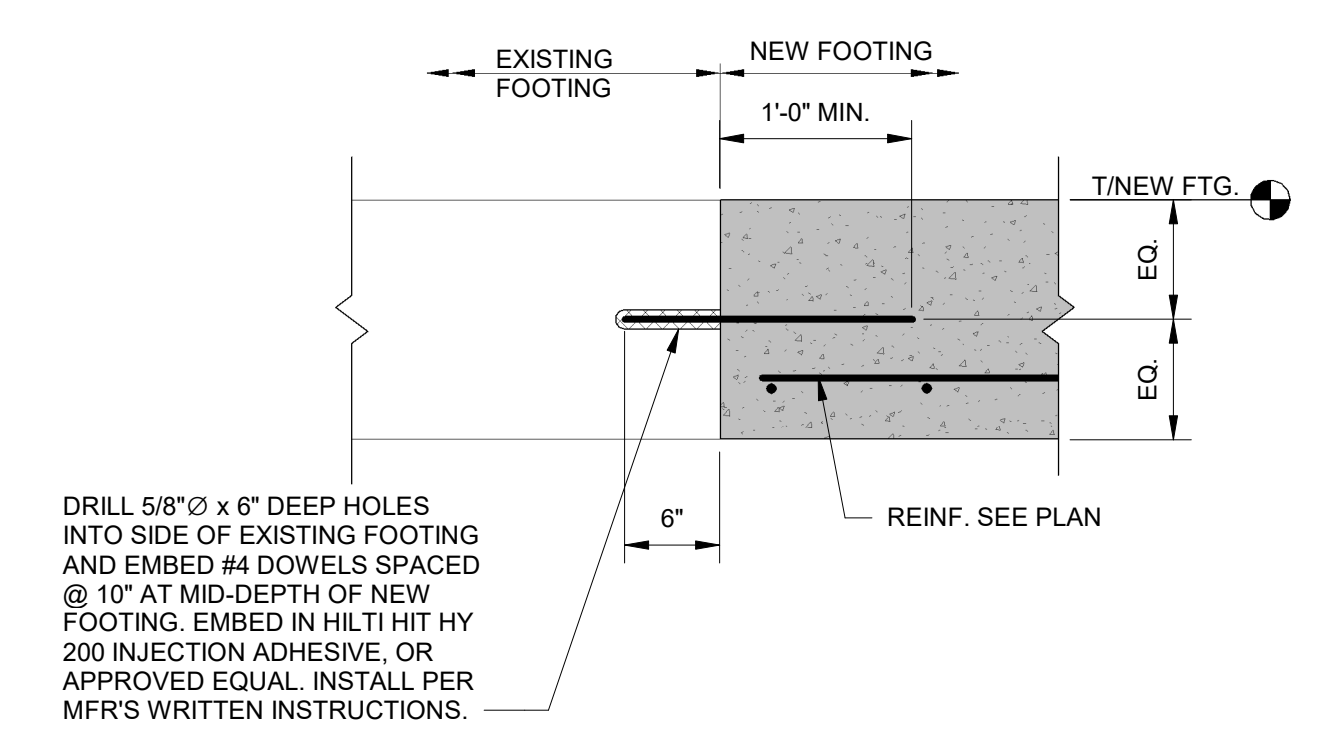
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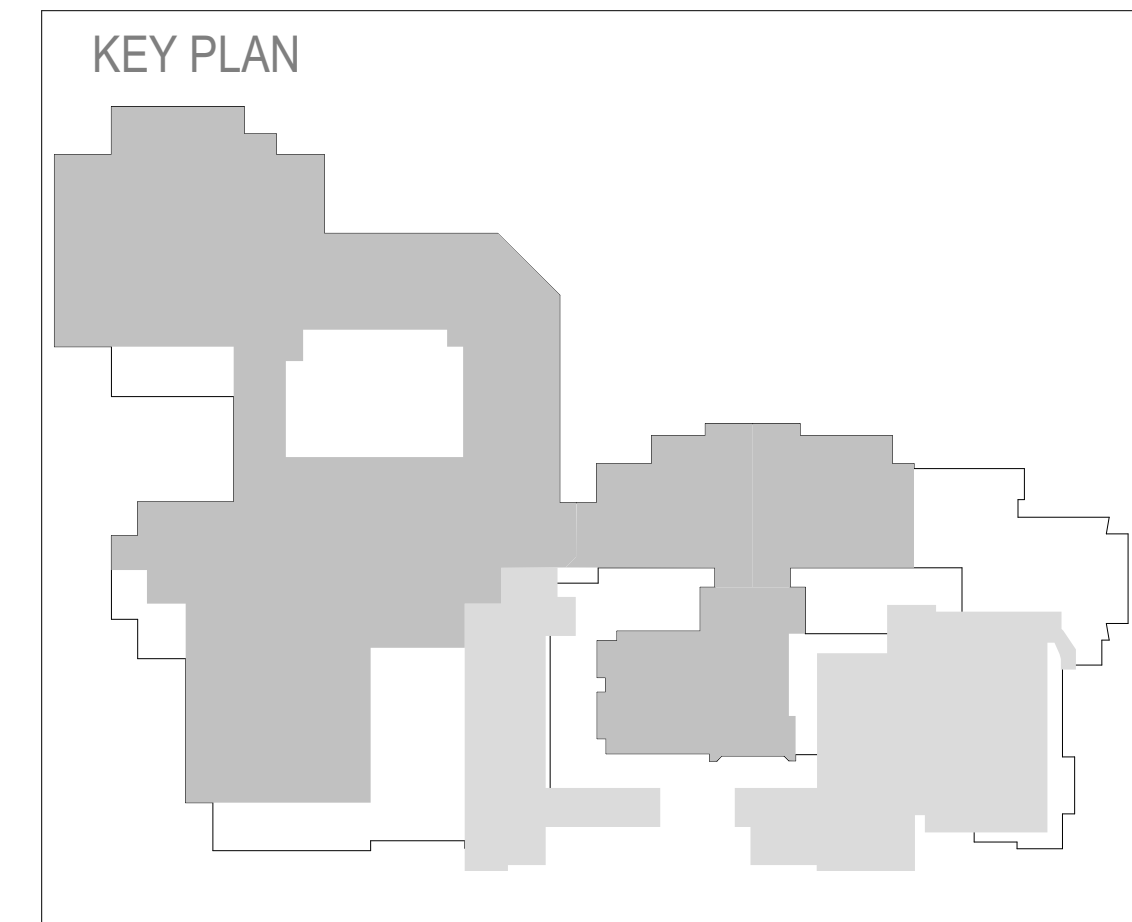
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ENLARGED STRUCTURAL DEMO PLAN - AREA G ROOF PLAN  
SD100 3/32" = 1'-0"



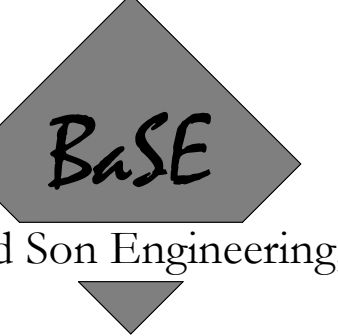
**B4**  
ENLARGED STRUCTURAL DEMO PLAN - AREA G (PARTIAL)  
SD100 3/32" = 1'-0"



**A4**  
NEW FTG. DOWELLED INTO (E) FTG. DETAIL  
SD100 1" = 1'-0"







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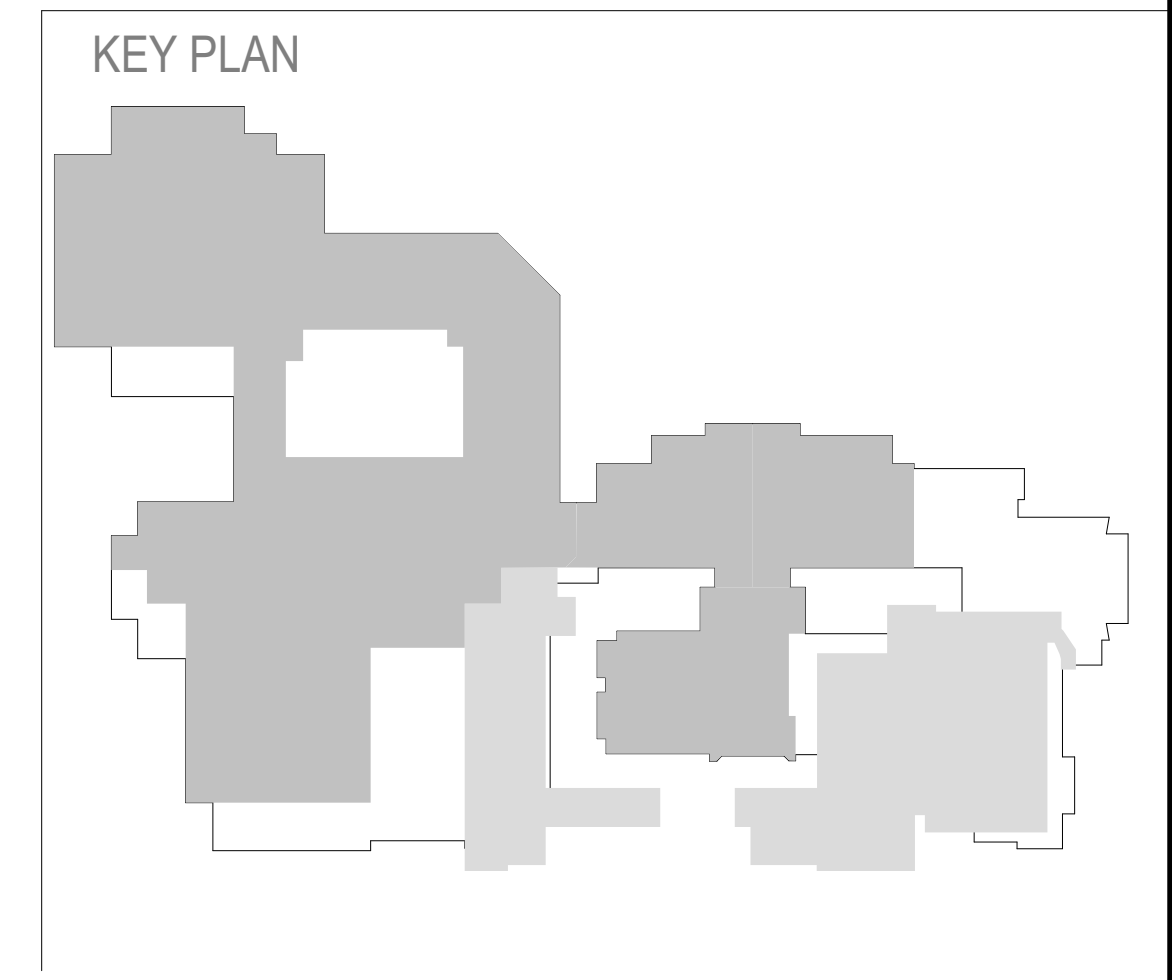
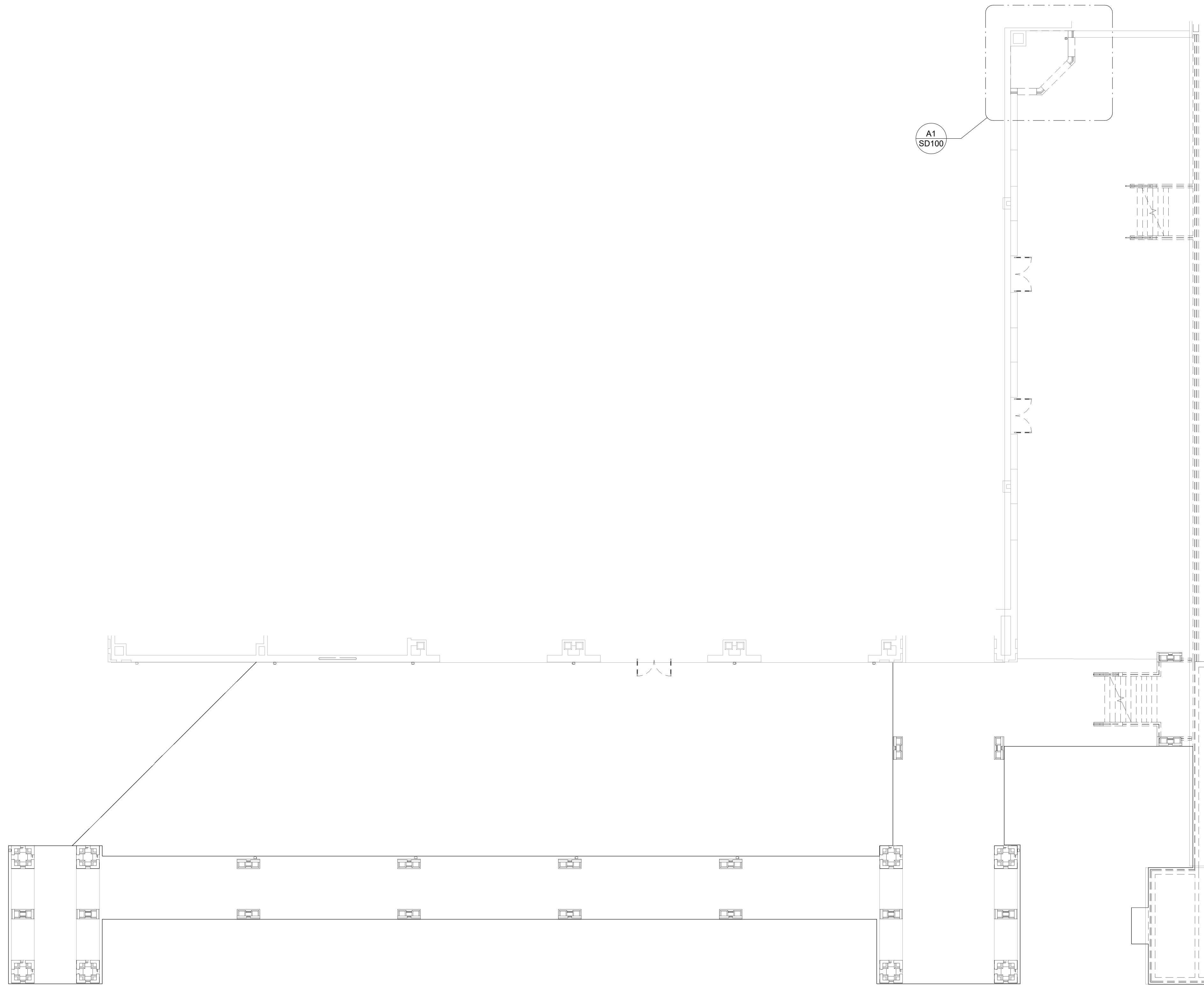
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NO.	DATE	DESCRIPTION	BY
B	03/08/24	GMP DEMO SET	PGG

GMP DEMO SET	03/08/24
PRINCIPAL IN CHARGE:	PGG
PROJECT ENGINEER:	ZB, AP
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SHEET TITLE:  
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DEMOLITION PLANS**

SHEET NO.	PROJ. NO.
<b>SD101</b>	23056

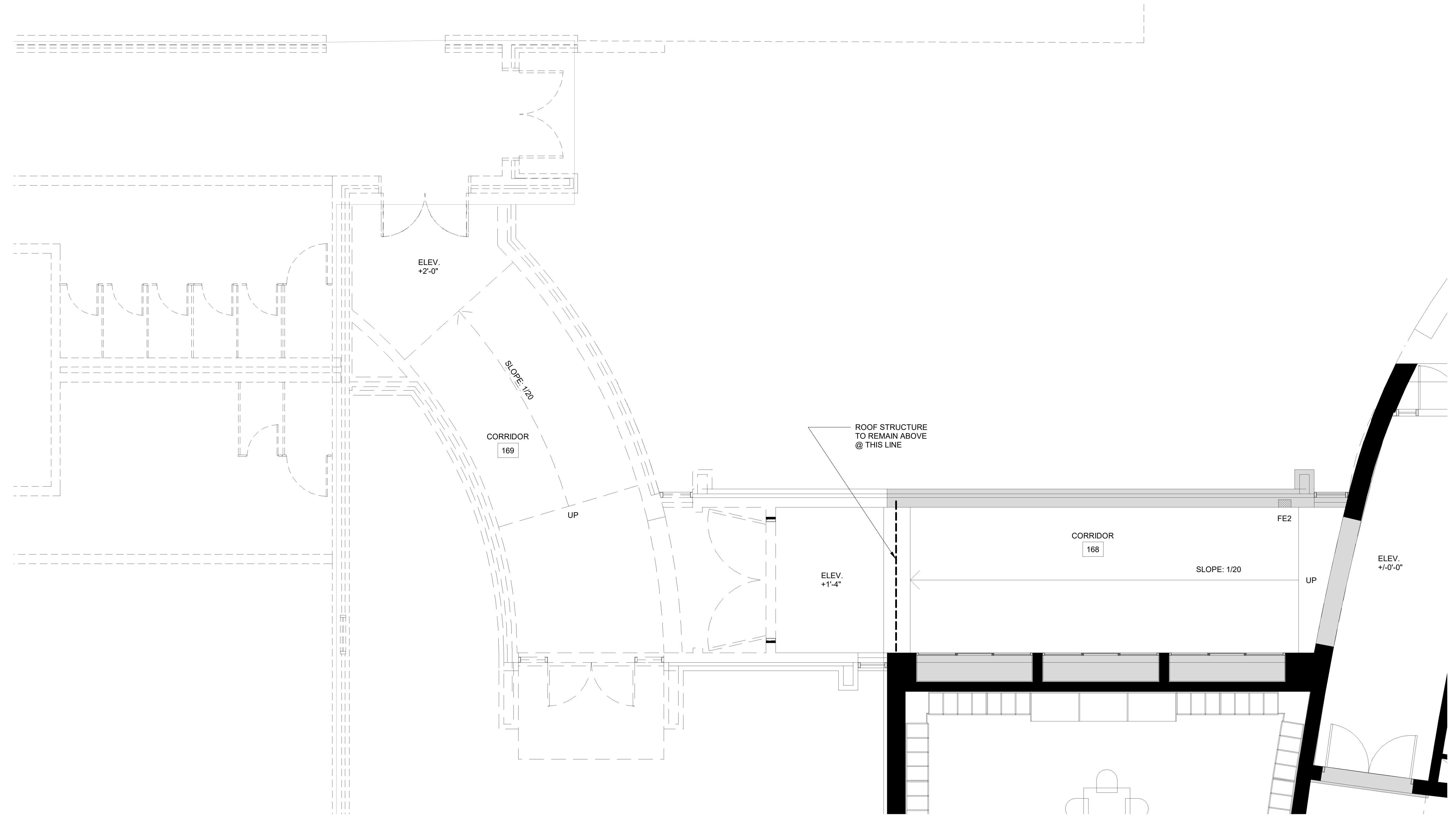
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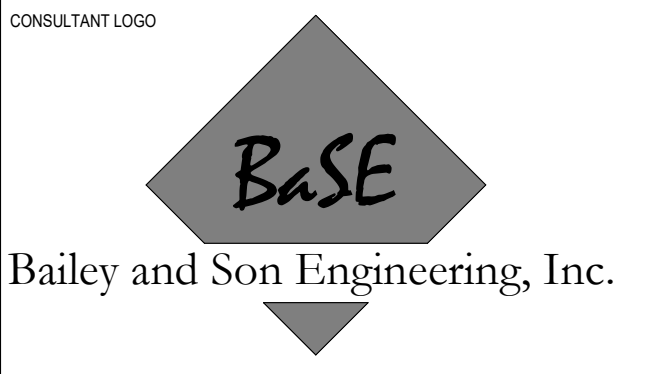
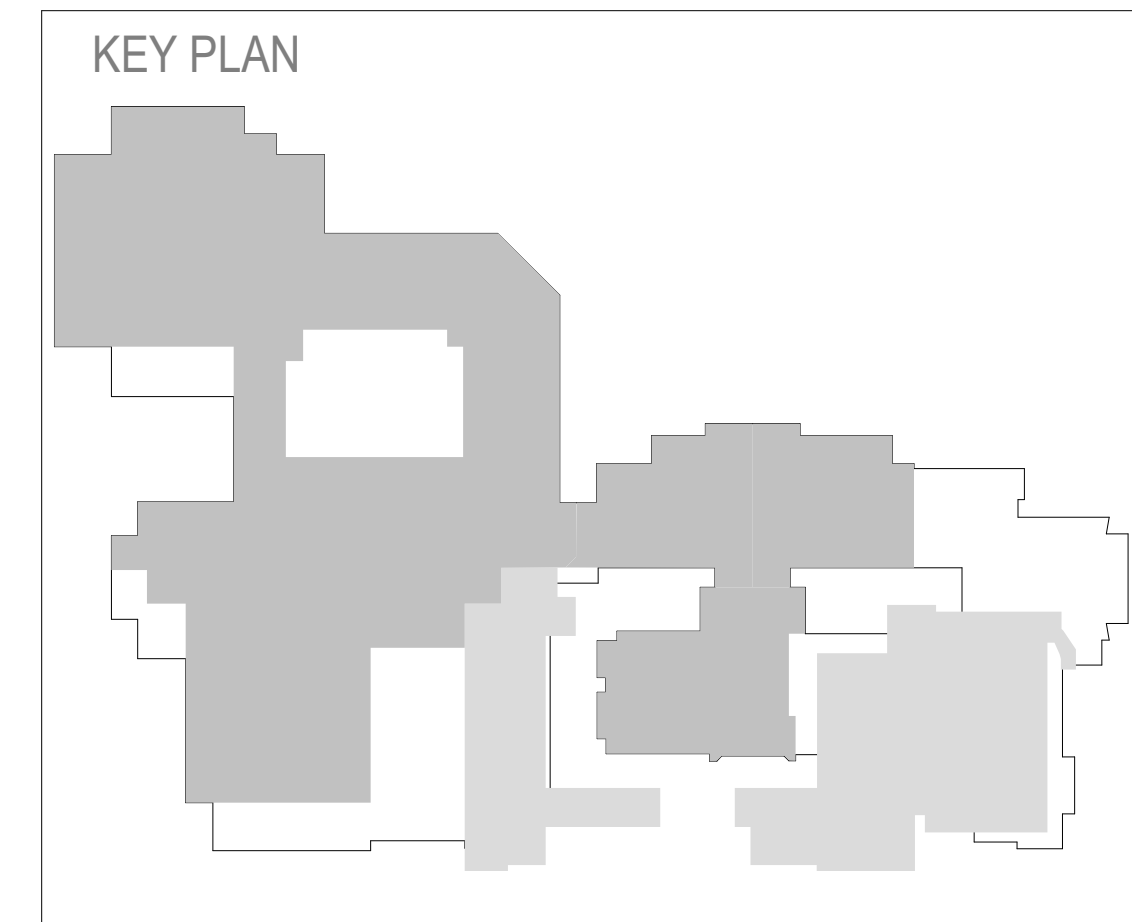
**ENLARGED STRUCTURAL DEMO PLAN - AREA H (PARTIAL)**  
A1 SD101 3/32" = 1'-0"



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**A1**  
**SD102**  
**ENLARGED STRUCTURAL DEMO PLAN - AREA E (PARTIAL)**  
1/4" = 1'-0"



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NO.	DATE	DESCRIPTION	BY
B	03/08/24	GMP DEMO SET	PGG

GMP DEMO SET 03/08/24  
PRINCIPAL IN CHARGE: PGG  
PROJECT ENGINEER: ZB, AP  
DRAWN BY: MP, JG

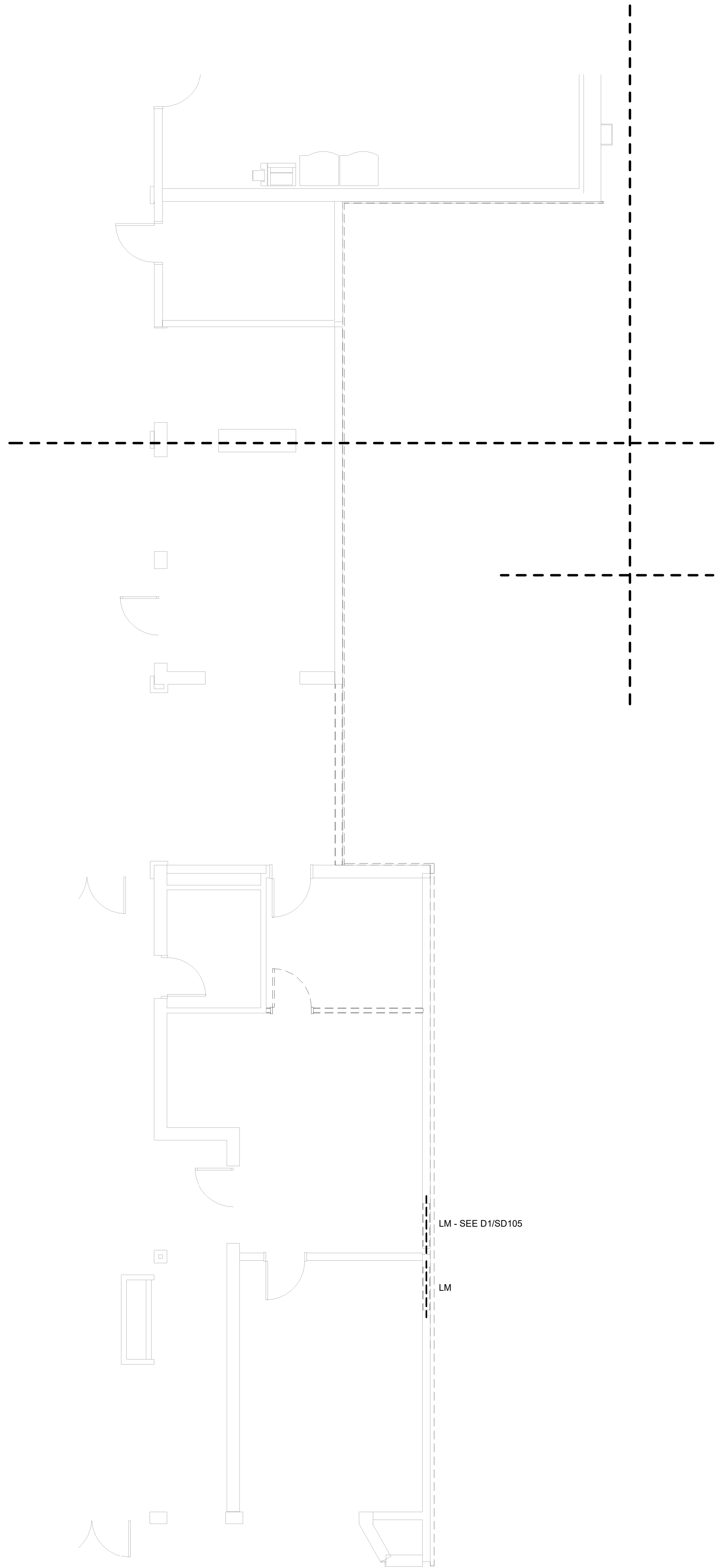
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**STRUCTURAL  
DEMOLITION PLANS**

SHEET NO. PROJ. NO.  
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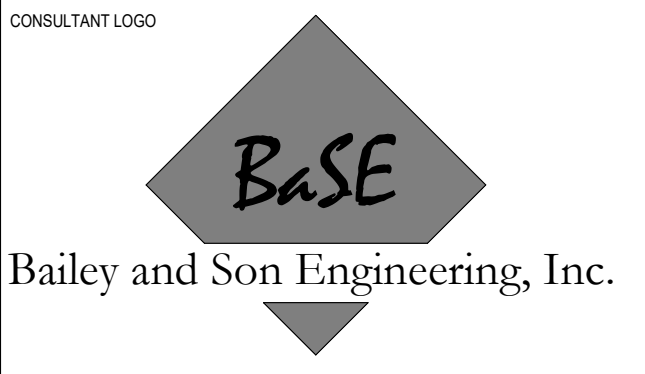
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**ENLARGED STRUCTURAL DEMO PLAN - AREA D (PARTIAL)**  
A1  
SD103 3/16" = 1'-0"



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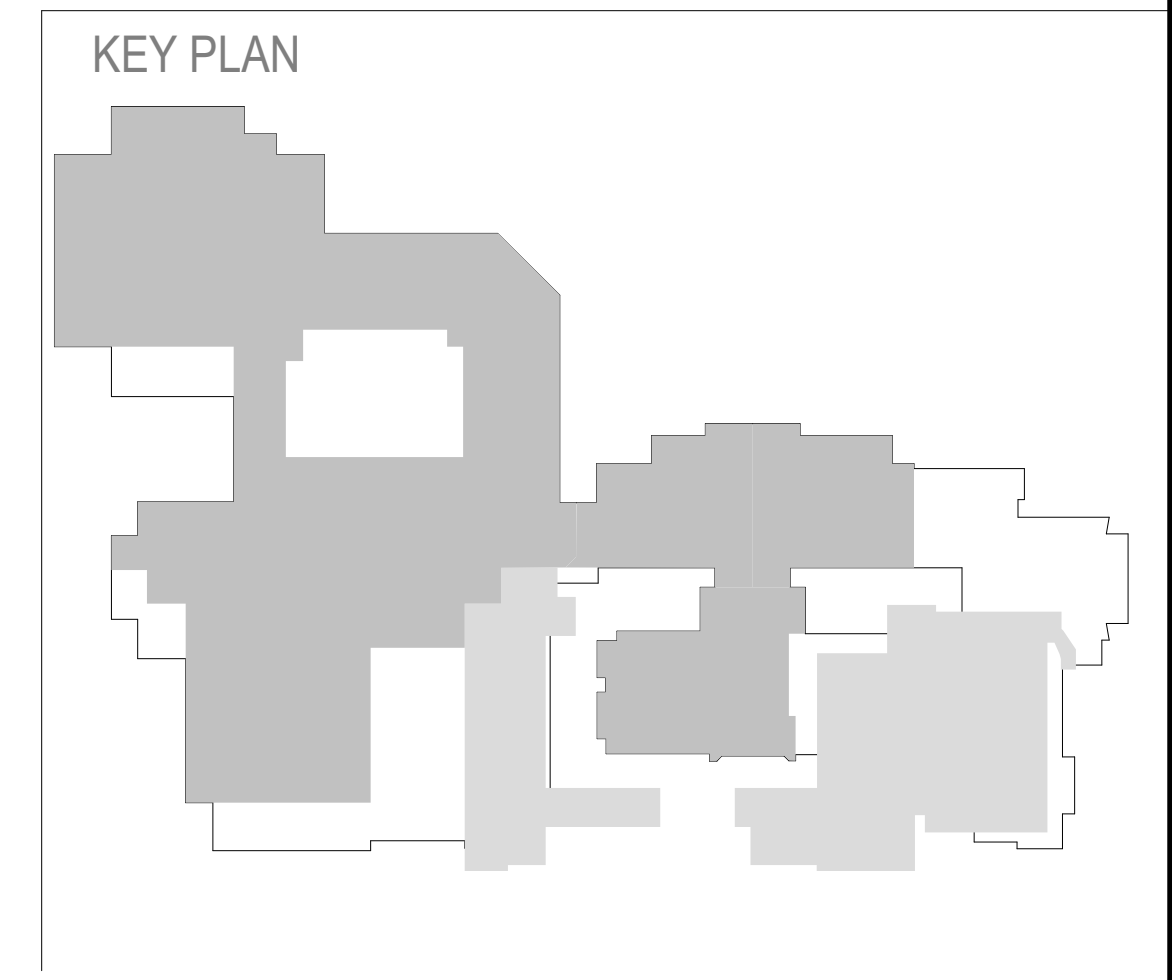
NO.	DATE	DESCRIPTION	BY
B	03/08/24	GMP DEMO SET	PGG

GMP DEMO SET 03/08/24  
PRINCIPAL IN CHARGE: PGG  
PROJECT ENGINEER: ZB, AP  
DRAWN BY: MP, JG

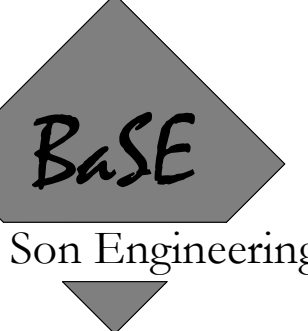
SHEET TITLE:  
**STRUCTURAL  
DEMOLITION PLANS**

SHEET NO. PROJ. NO.  
23056

**SD103**







PRELIMINARY  
NOT FOR CONSTRUCTION

SPARTANBURG SCHOOL DISTRICT 5  
JAMES F. BYRNES HIGH SCHOOL  
PHASE 3 DEMOLITION

150 E. MAIN STREET  
DUNCAN, SC 29534

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
B	03/08/24	GMP DEMO SET	PGG

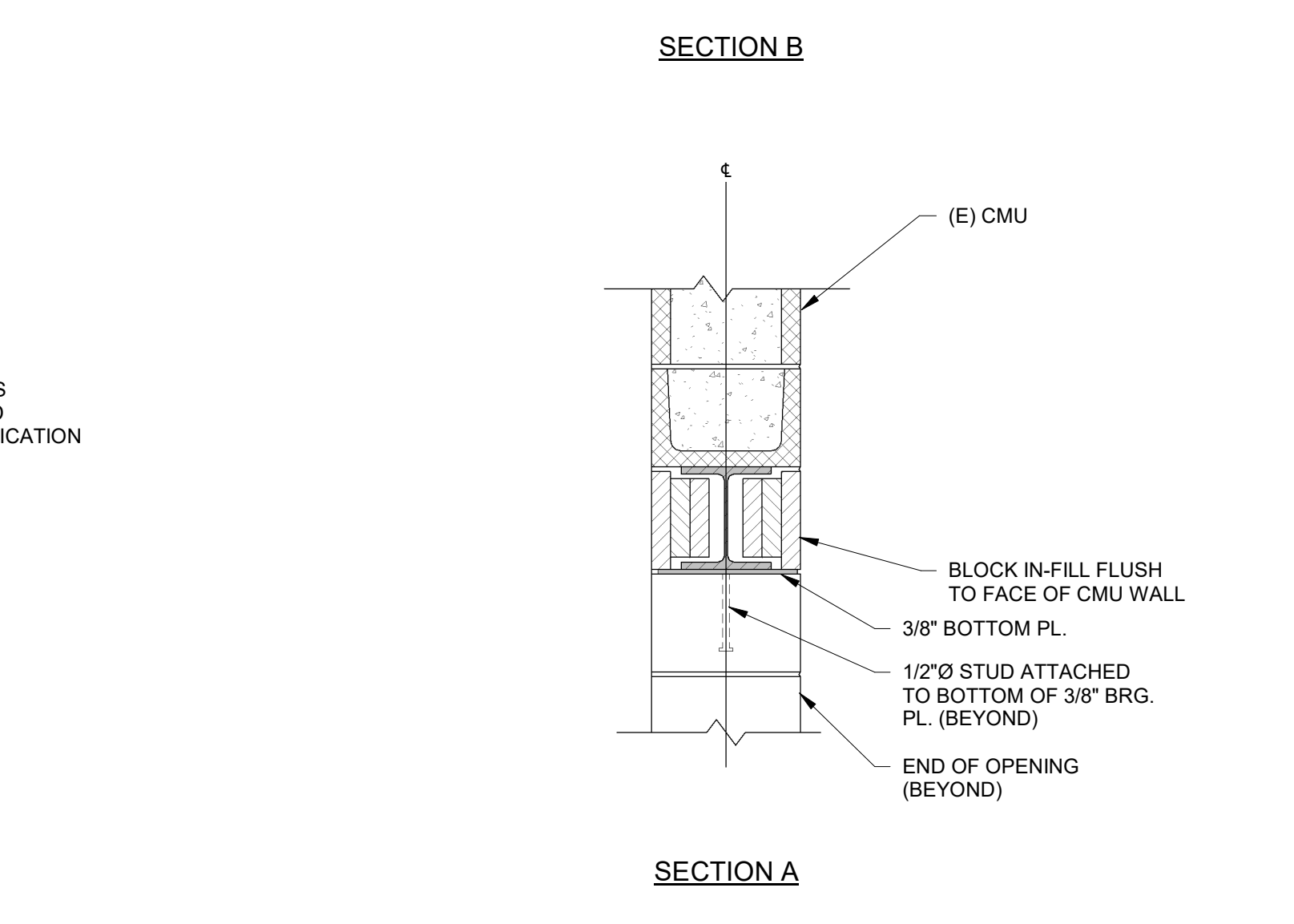
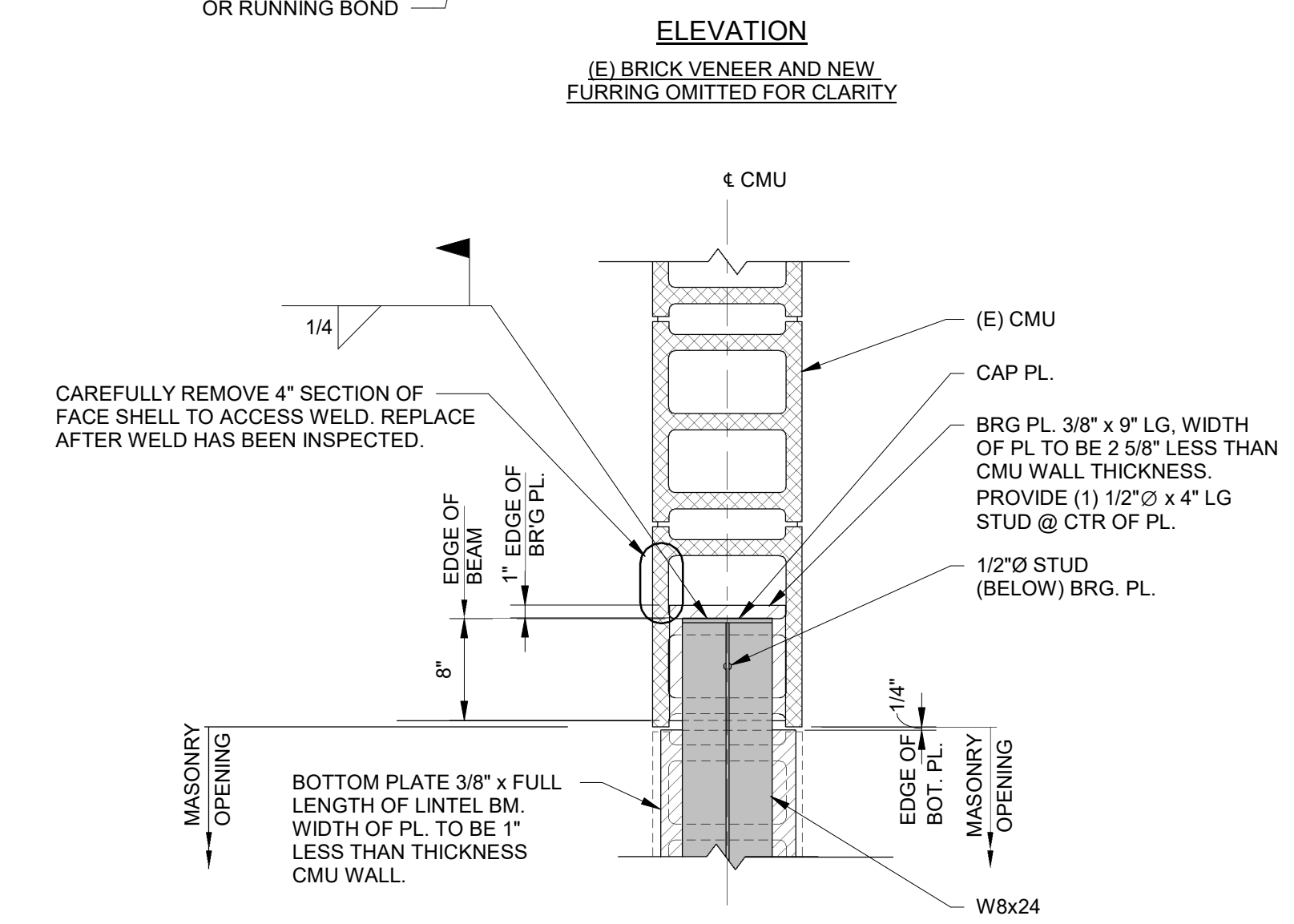
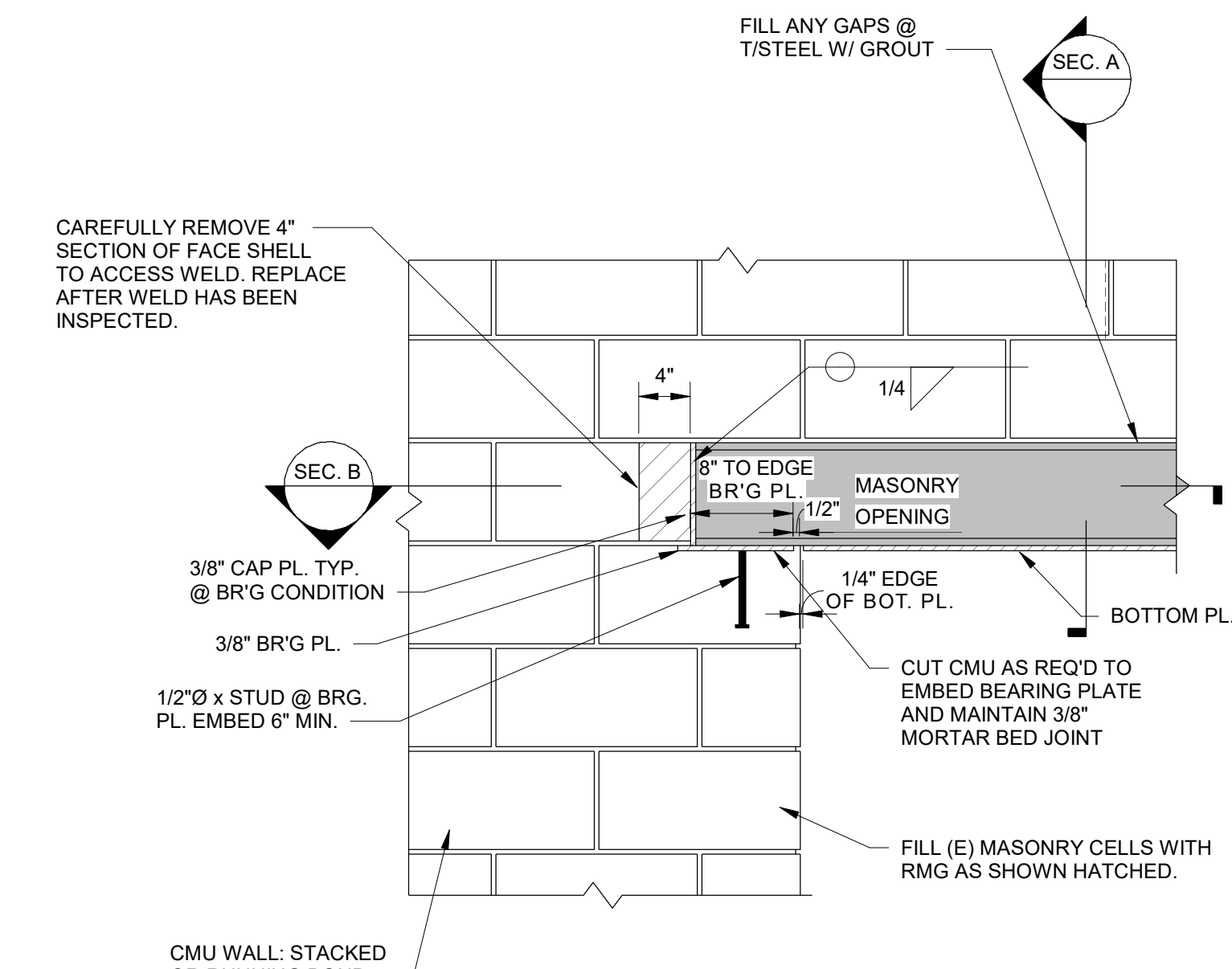
GMP DEMO SET 03/08/24

PRINCIPAL IN CHARGE: PGG  
PROJECT ENGINEER: ZB, AP  
DRAWN BY: MP, JG

SHEET TITLE:  
**LINTEL SECTIONS & DETAILS**

SHEET NO. PROJ. NO.  
23056

SD104



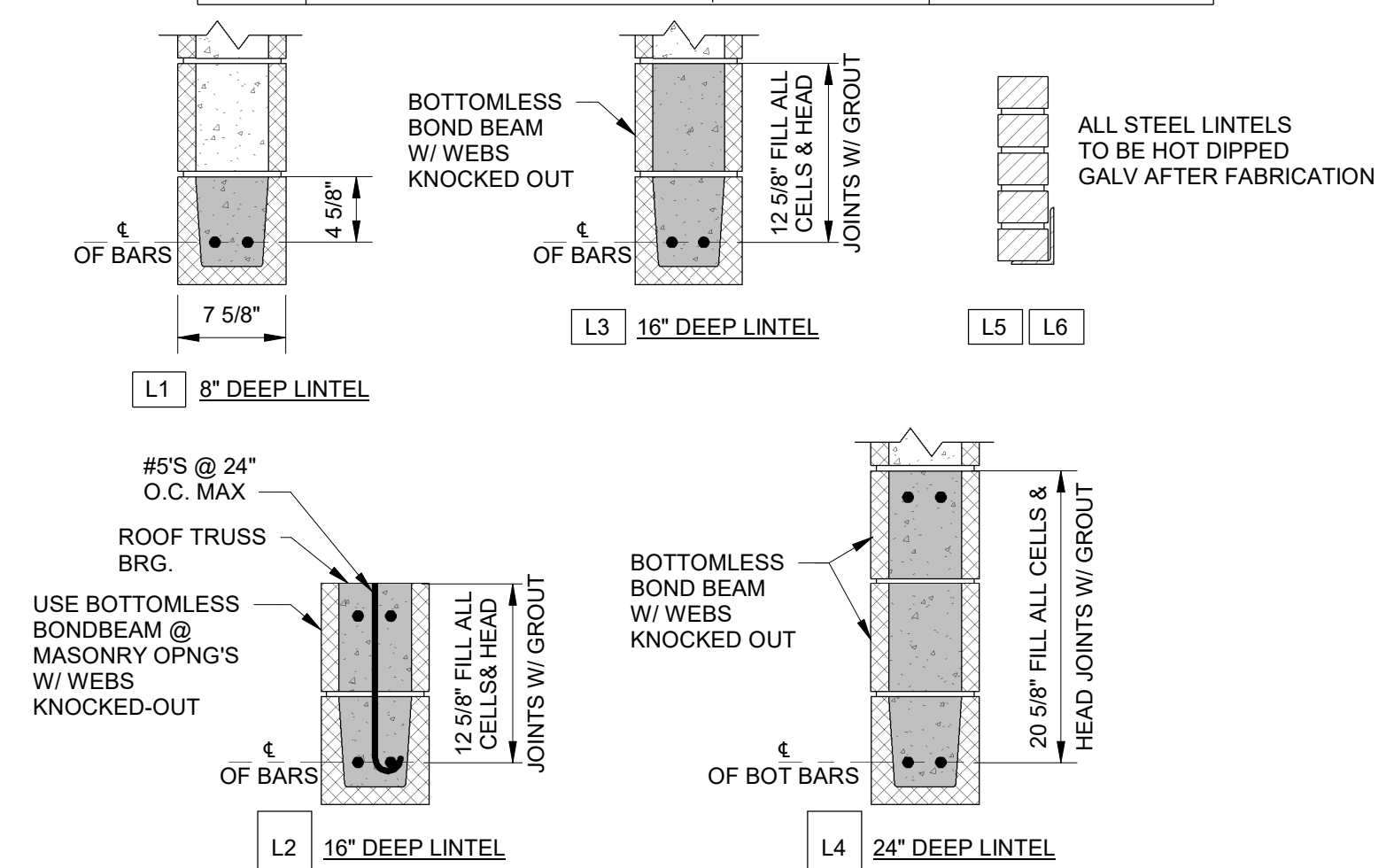
- NOTES:  
1. PROVIDE A STANDARD CONNECTION FOR ANY STEEL LINTEL THAT INTERFERES PERPENDICULAR WITH ANOTHER STEEL LINTEL.  
2. DO NOT LOCATE A WALL CONTROL JOINT WITHIN 2 FEET OF BEAM BEARING.

**LINTEL SCHEDULE**

ALL CMU LINTELS SHALL:

- LINTEL BLOCK SHALL HAVE A MIN OF 2000 PSI COMPRESSIVE STRENGTH.
- LINTEL BLOCK AND REBAR SHALL EXTEND A MIN. OF 24" PAST THE EDGE OF THE MASONRY OPENING. SEE A3/S208.
- BLOCK FILL SHALL BE GROUT WITH A MIN. STRENGTH OF 2500 PSI. MORTAR MIX WILL NOT BE ACCEPTABLE.
- ALL LINTELS MARKED W/ PREFIX AND/OR SUFFIX "F" SHALL HAVE ITS STEEL FIRE PROTECTED.
- ALL MASONRY OPENINGS SHOWN ON ARCH. STRUCT. MECH AND ELEC. DRAWINGS SHALL HAVE LINTELS. THE G.C. SHALL FURNISH A LINTEL FOR:
  - A. LOAD BEARING WALLS - THE G.C. SHALL SELECT A LINTEL SHOWN IN THIS SCHEDULE THAT MOSTLY SIMULATES THE LOADING CONDITION OF THE UNSHOWN LINTEL. THE LOADING CONDITION SHALL BE AT LEAST THE SAME MAGNITUDE OR GREATER THAN THAT OF THE MISSING LINTEL.
  - B. NON-LOAD BEARING WALLS - THE G.C. SHALL SELECT A LINTEL SHOWN IN THIS SCHEDULE OR THE MISCELLANEOUS LINTEL SCHEDULE SHOWN ON THIS DRAWING.
- ALL EXTERIOR LINTELS W/ STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, THEN TREATED, PRIMED AND GIVEN A FINISH COAT OF PAINT AS REQ'D IN DIV. 9.

LINTEL NUMBER	SHAPE	STEEL REQUIREMENTS	REMARKS
L1	SEE SHAPE DESIGNATION BELOW	(2) #5	USE @ NON-BRG WALLS AS SHOWN ON THE FDN DWGS
L2	SEE SHAPE DESIGNATION BELOW	(2) #5 TOP & BOT	USE @ BOTH LOW ENDS OF THE STRUCTURE
L3	SEE SHAPE DESIGNATION BELOW	(2) #5	USE @ WALLS AS SHOWN
L4	SEE SHAPE DESIGNATION BELOW	(2) #5 TOP & BOT	USE @ WALLS AS SHOWN
L5	SEE SHAPE DESIGNATION BELOW	L3x3x3/8" (LLV)	MIN. 8" BEARING EACH END, UNLESS NOTED SEE A4/S208
L6	SEE SHAPE DESIGNATION BELOW	L5x3x3/8" (LLV)	MIN. 8" BEARING EACH END, UNLESS NOTED SEE A4/S208
L7	SEE DETAIL A1/S208	-	-
L8	SEE DETAIL A2/S208	-	-
L9	SEE DETAIL A3/S209	-	-
L10	W8x24	-	SEE A4/SD104



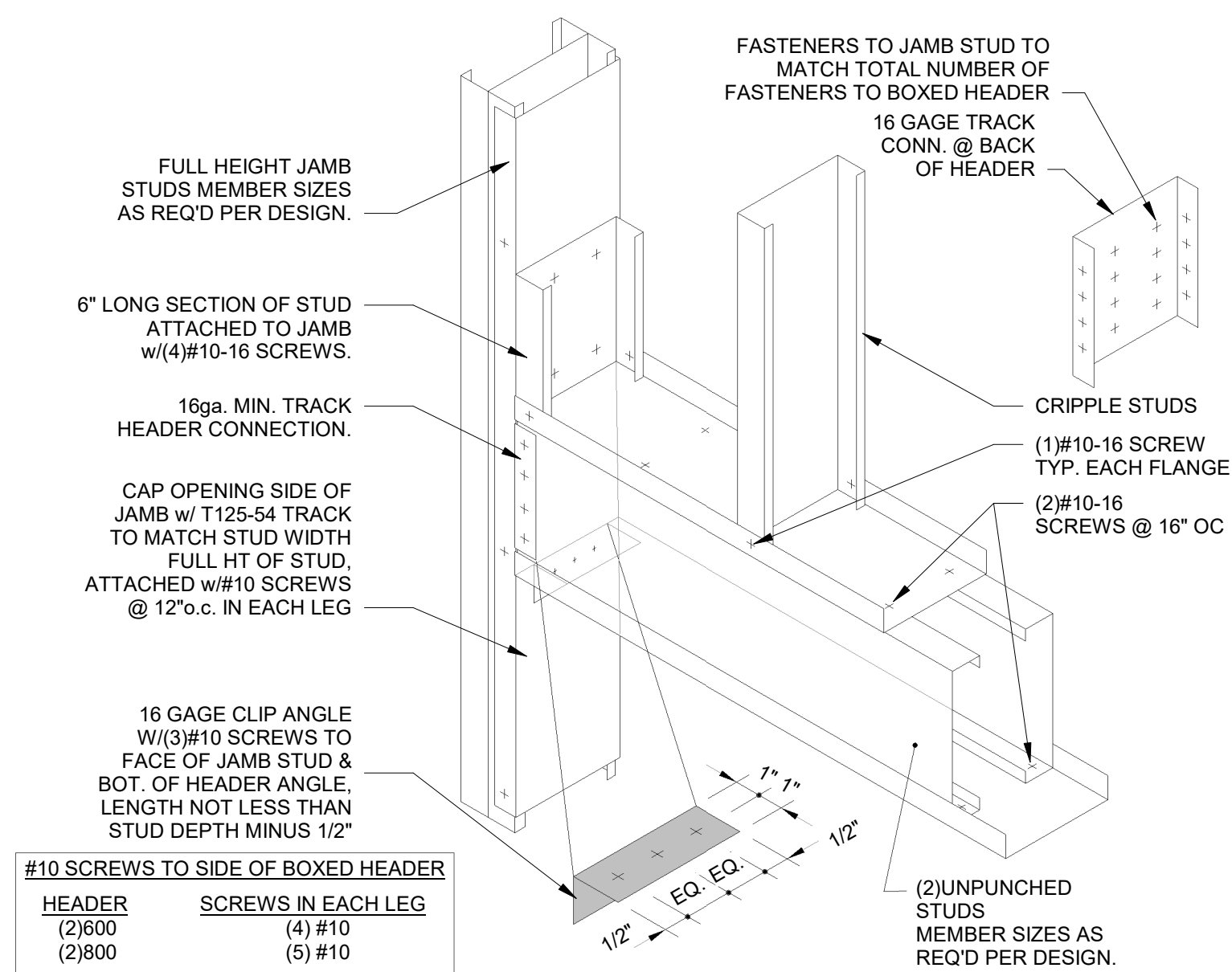
A3 LINTEL SCHEDULE  
1" = 1'-0"

A4 L10 - NEW STL. LINTEL BEARING DET. @ NEW OPNG. IN (E) CMU (NO BRICK VENEER)  
1" = 1'-0"

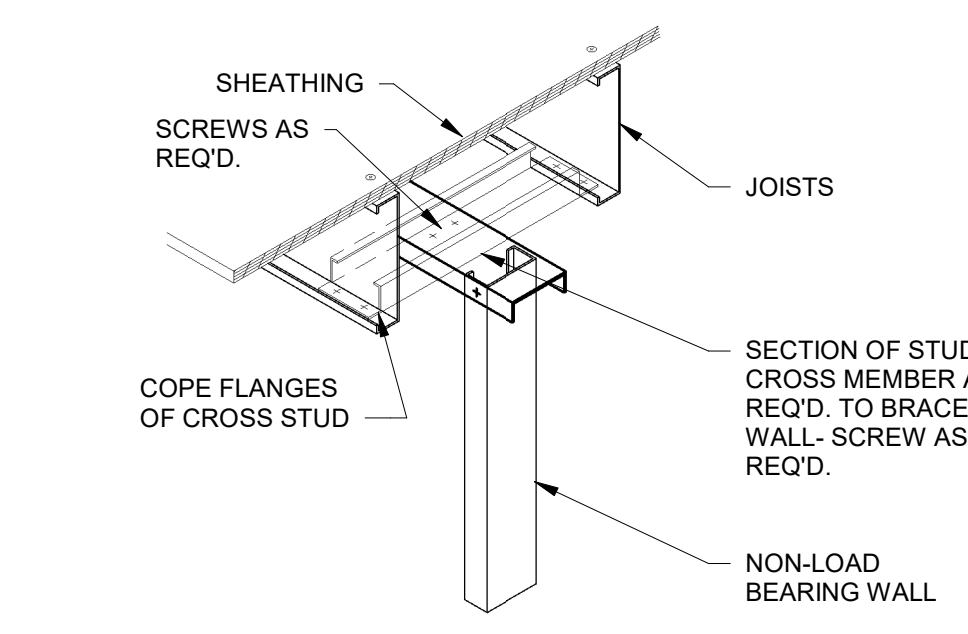
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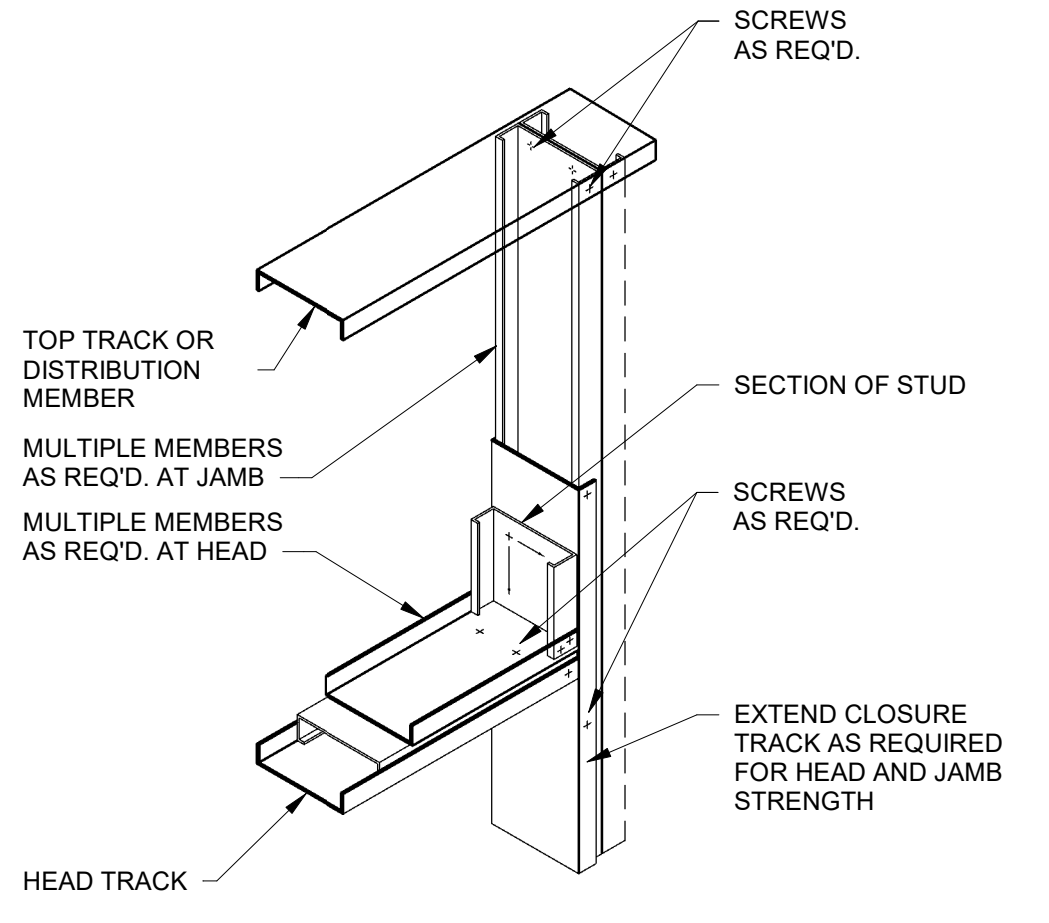
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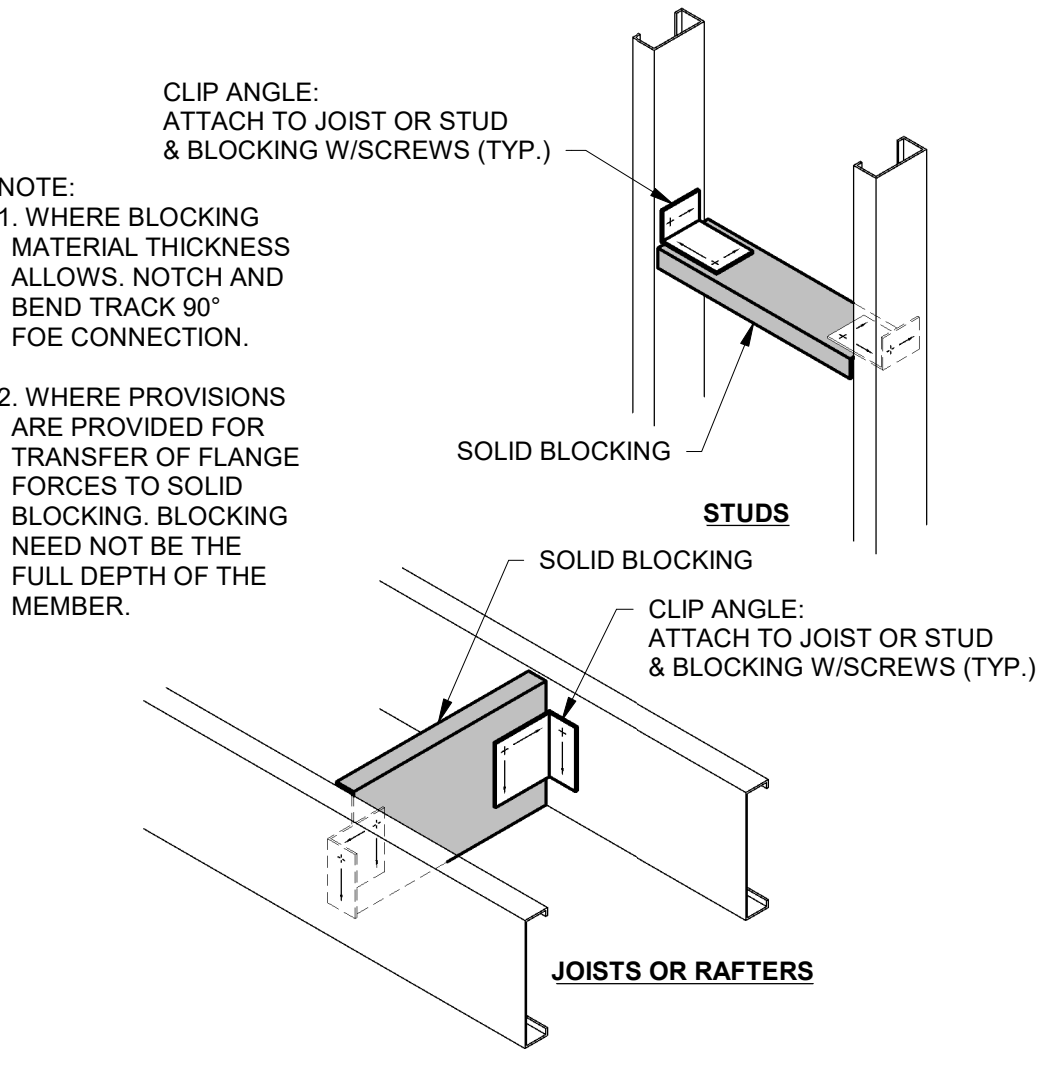
**D1 CFS- BOXED HEADER DETAIL (SUGGESTED)**  
1" = 1'-0"



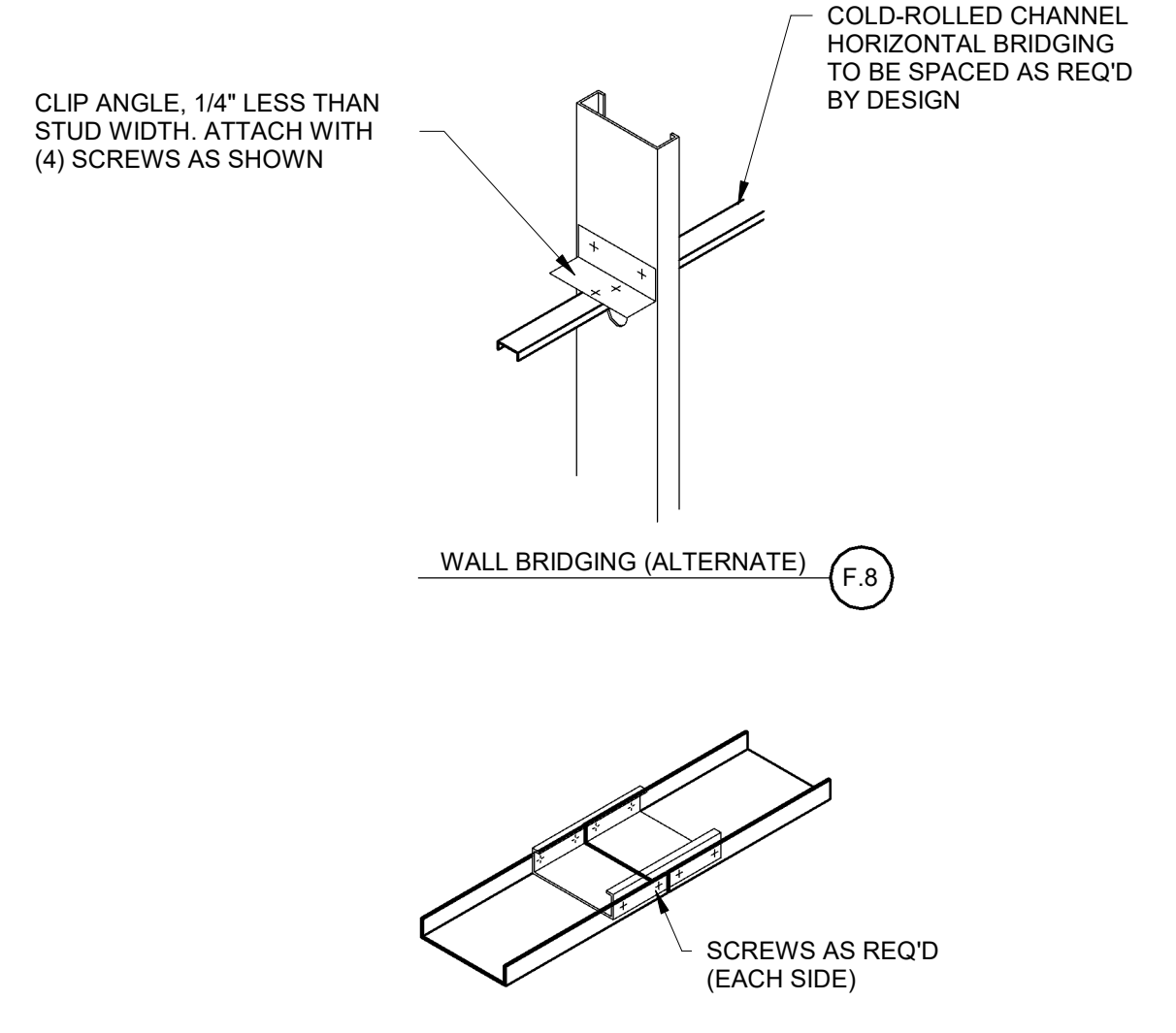
**D2 CFS- T/NON-LOAD BEARING WALL PARALLEL TO JOISTS DETAIL**  
1" = 1'-0"



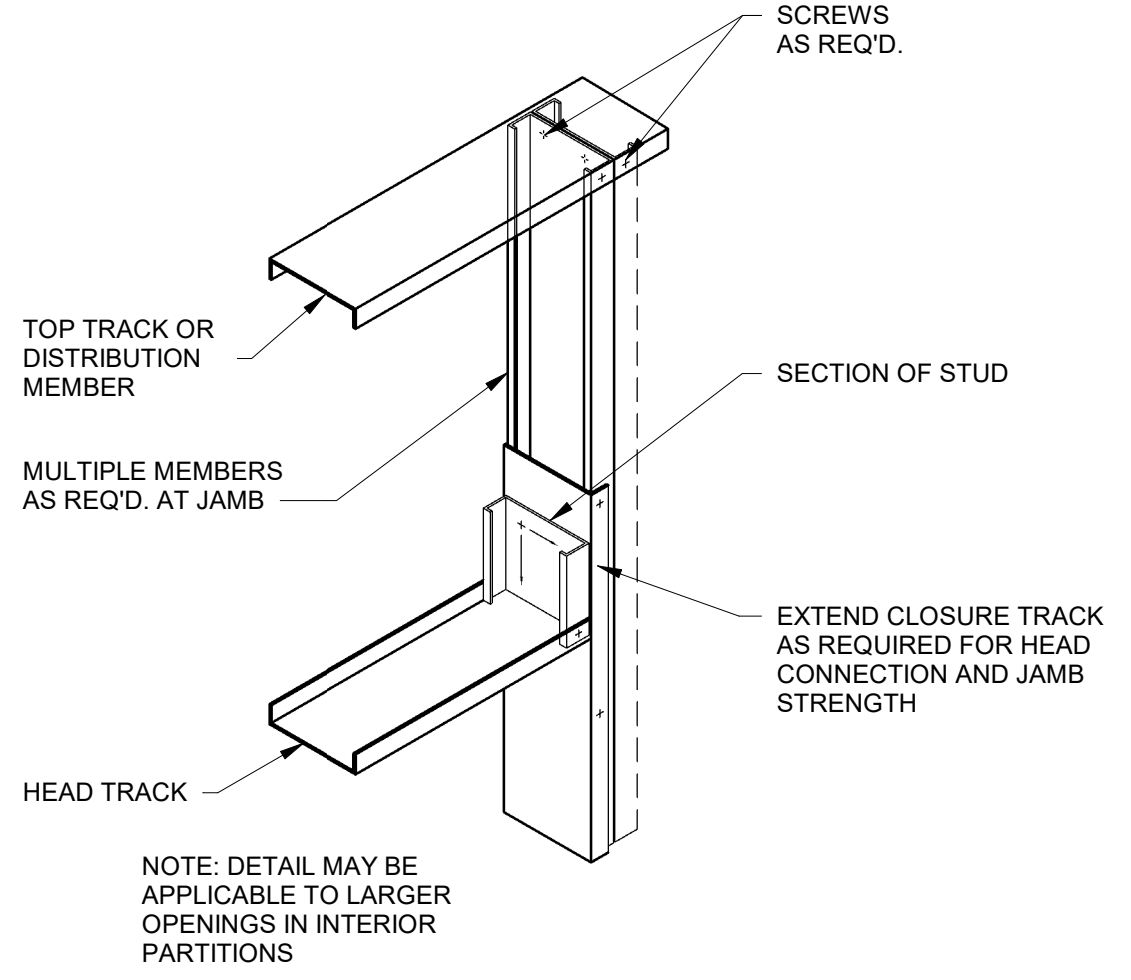
**D4 CFS- NON-AXIAL LOAD BEARING JAMB & HEAD DETAIL (GREATER THAN 4'-0")**  
1" = 1'-0"



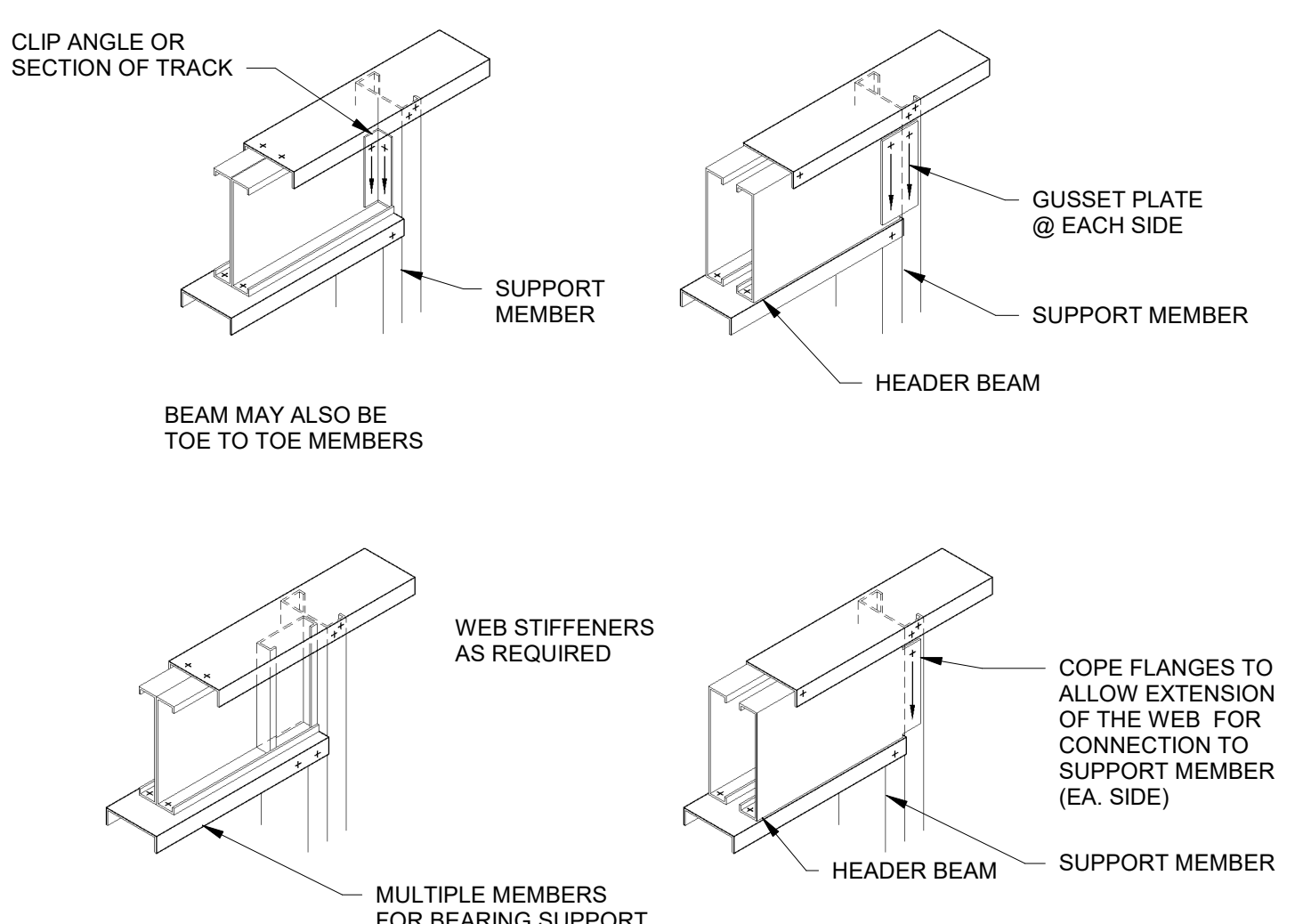
**C1 CFS- SOLID BLOCKING DETAILS**  
1" = 1'-0"



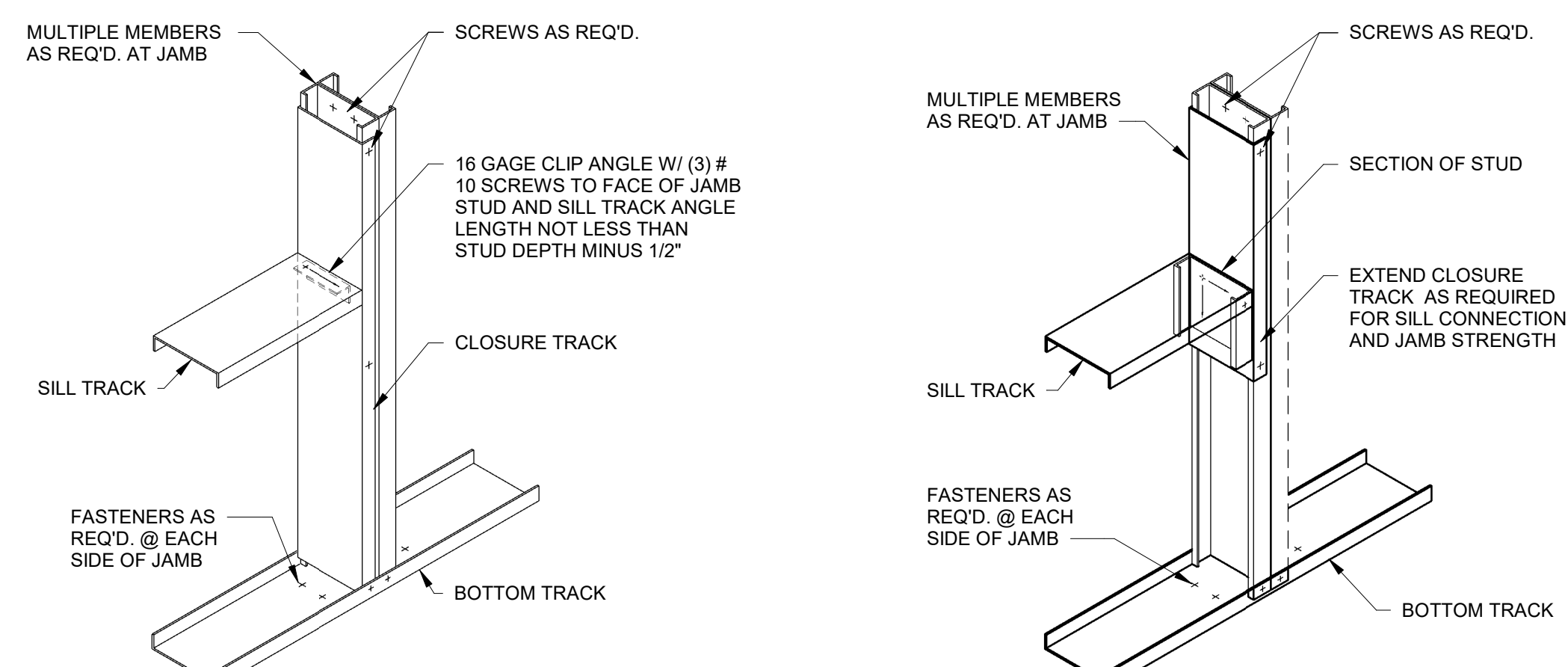
**C2 CFS- WALL BRIDGING (ALTERNATE) AND TOP & BOTTOM TRACK SPLICE DETAILS**  
1" = 1'-0"



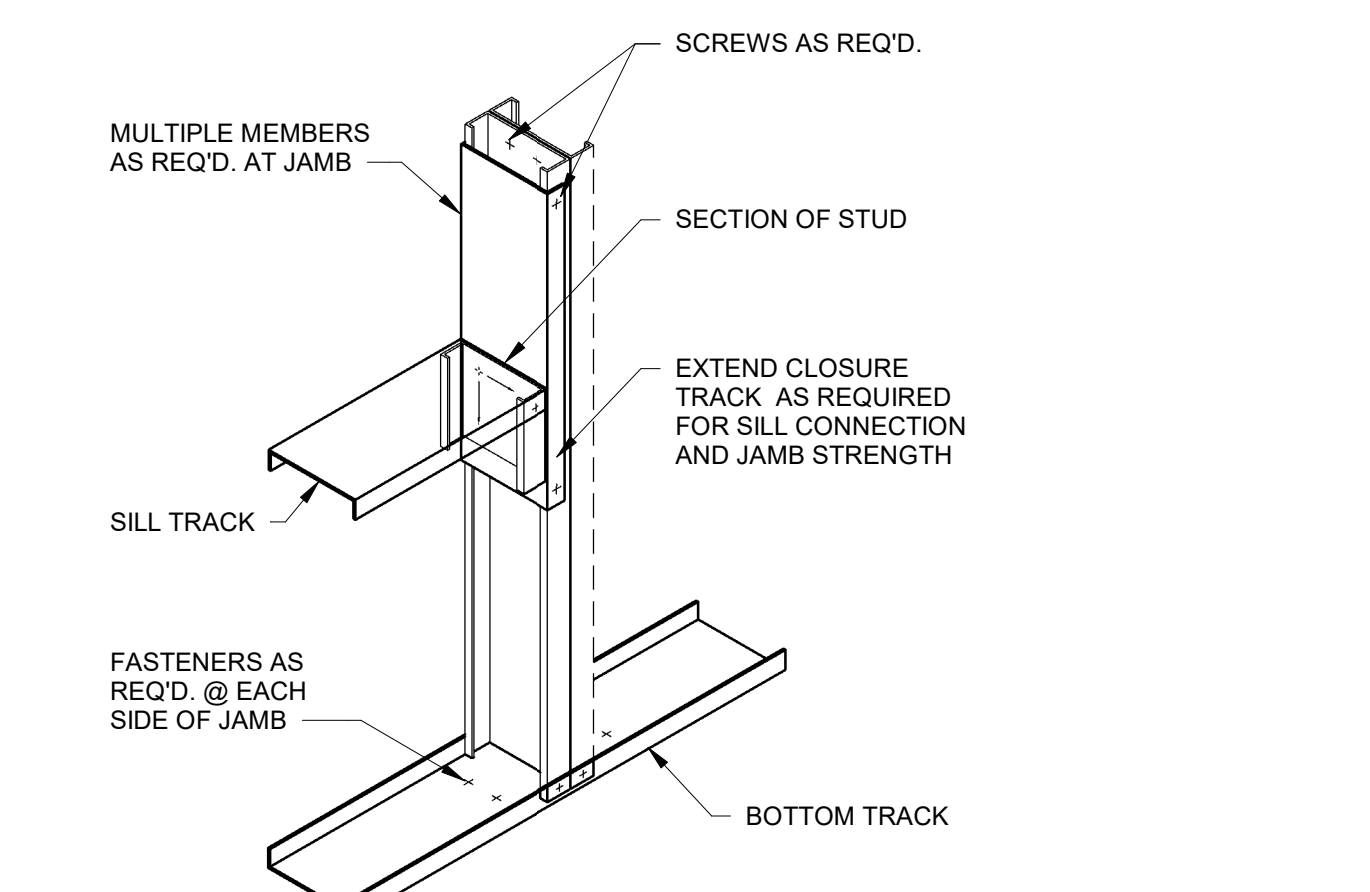
**C4 CFS- NON-AXIAL LOAD BEARING JAMB & HEAD DETAIL (LESS THAN 4'-0")**  
1" = 1'-0"



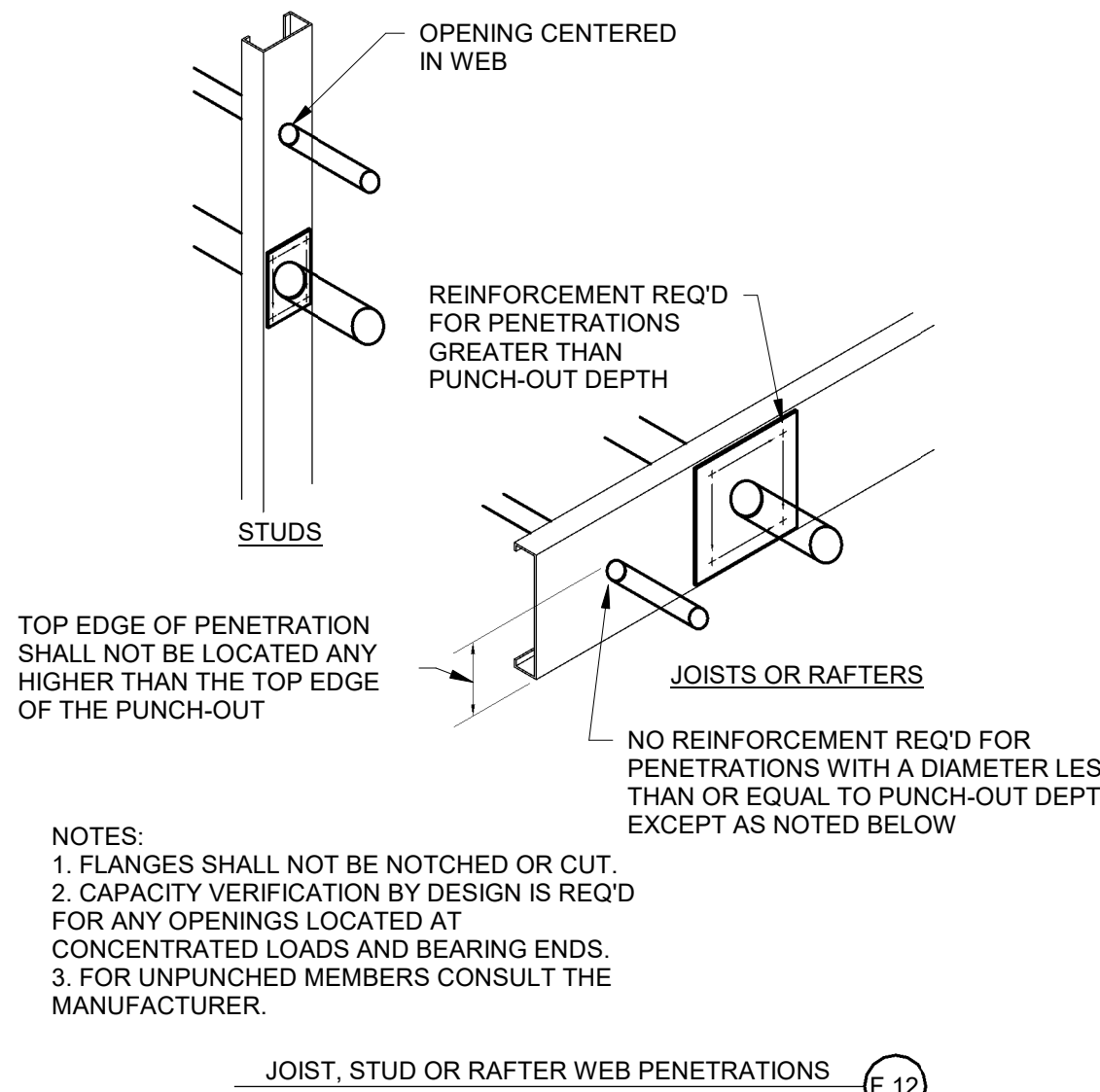
**B1 CFS- ALTERNATE HEADER BEAM CONNECTIONS DETAIL**  
1" = 1'-0"



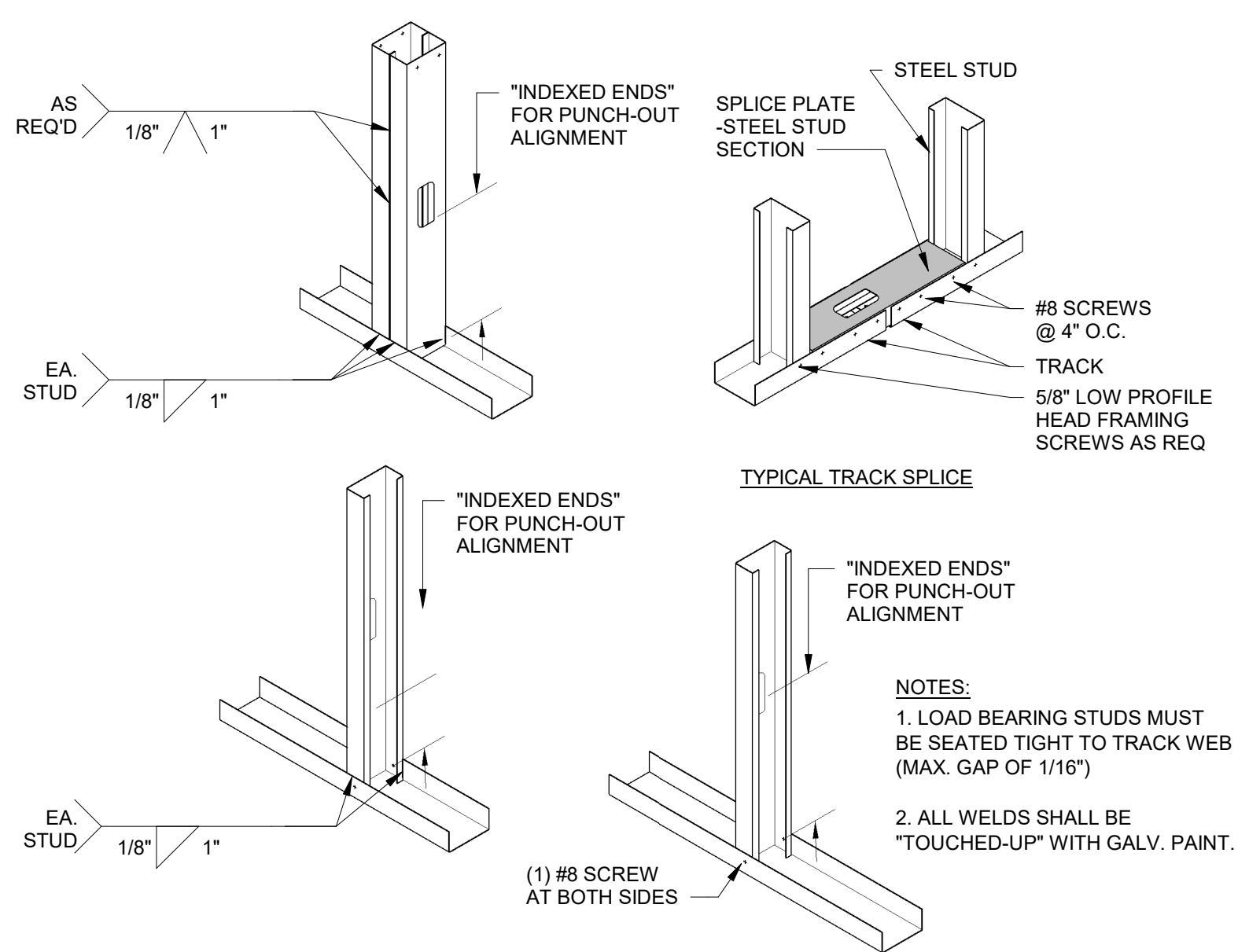
**B2 CFS- SILL DETAIL**  
1" = 1'-0"



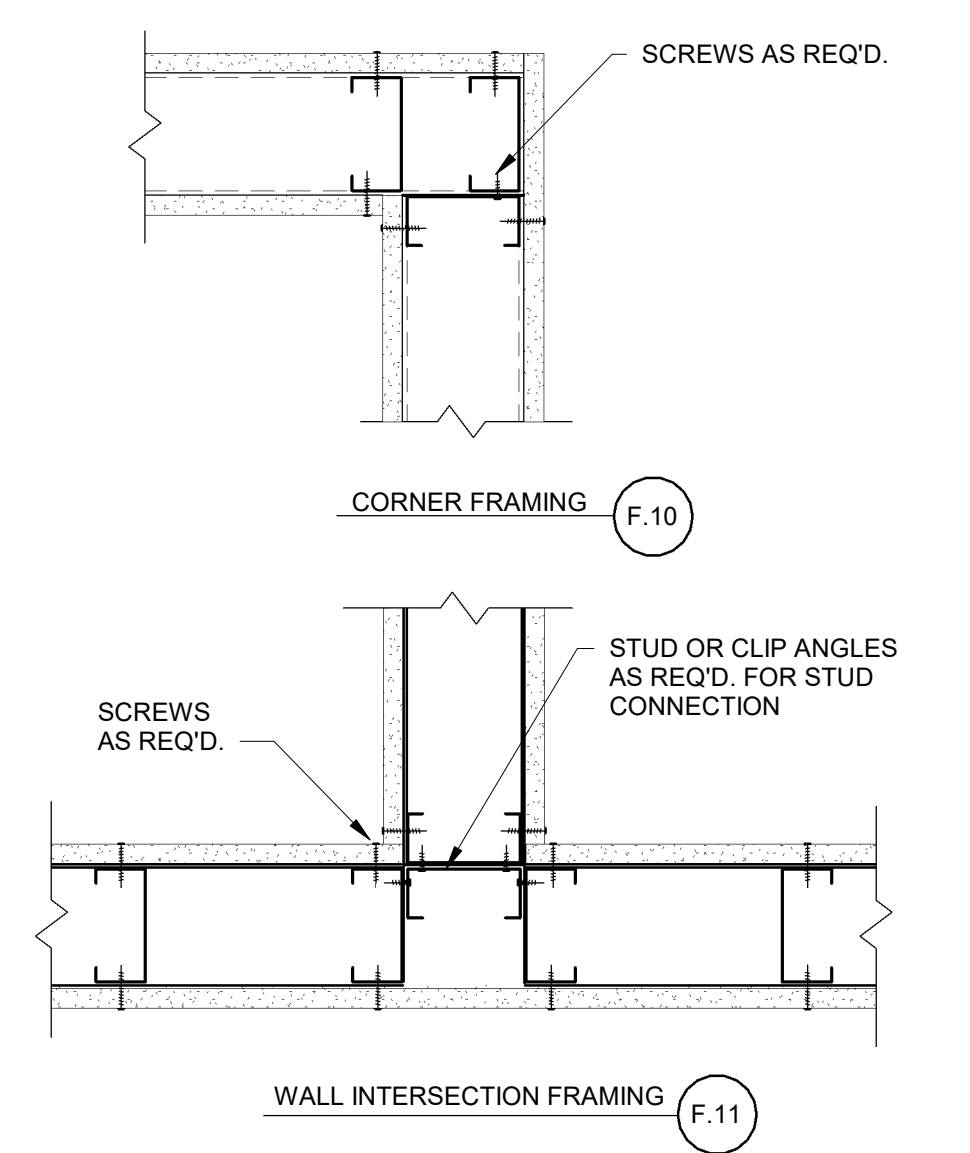
**B3 CFS- JAMB & SILL DETAIL (LESS THAN 4'-0")**  
1" = 1'-0"



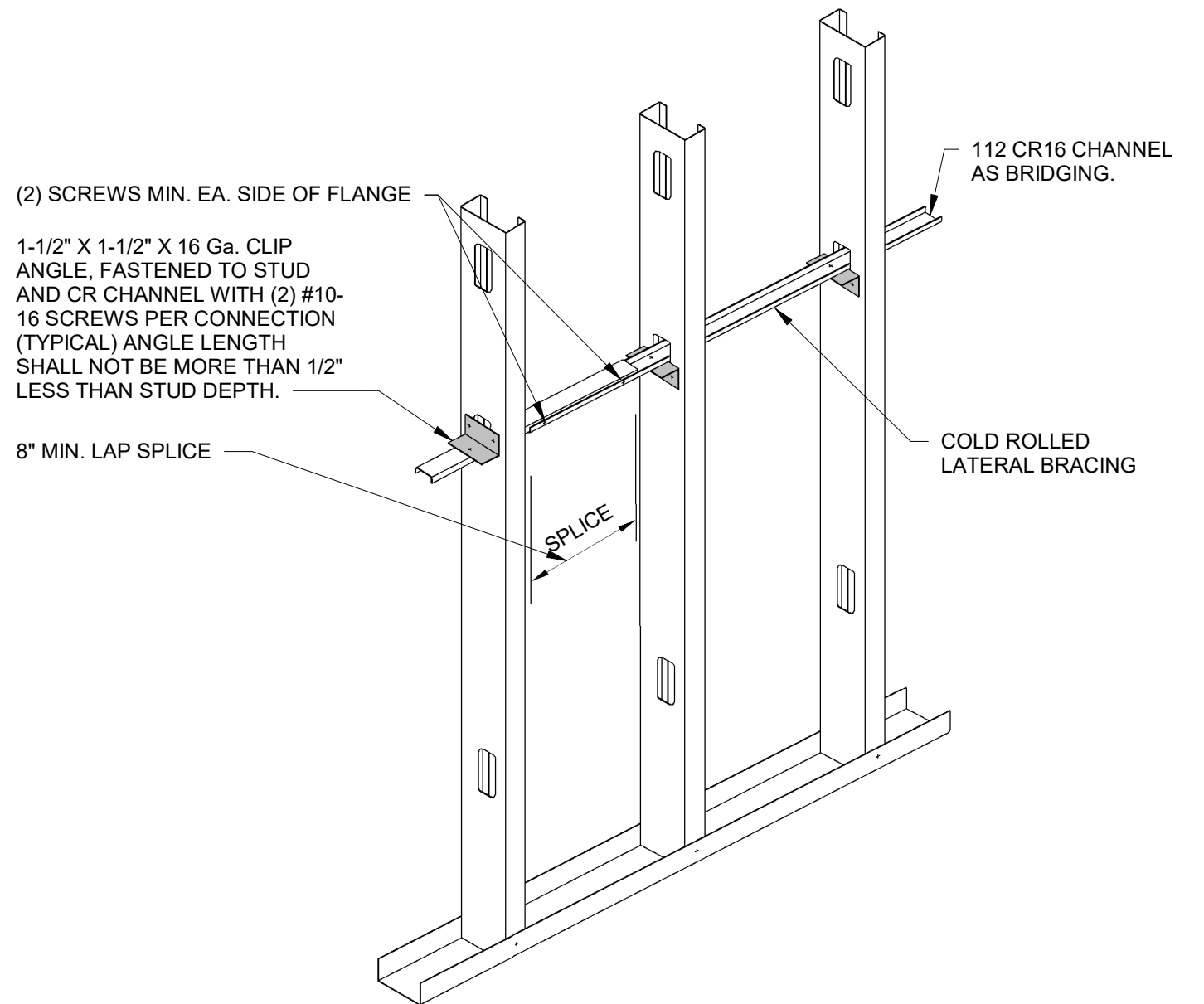
**B4 CFS- JOIST, STUD OR RAFTER WEB PENETRATIONS DETAILS**  
1" = 1'-0"



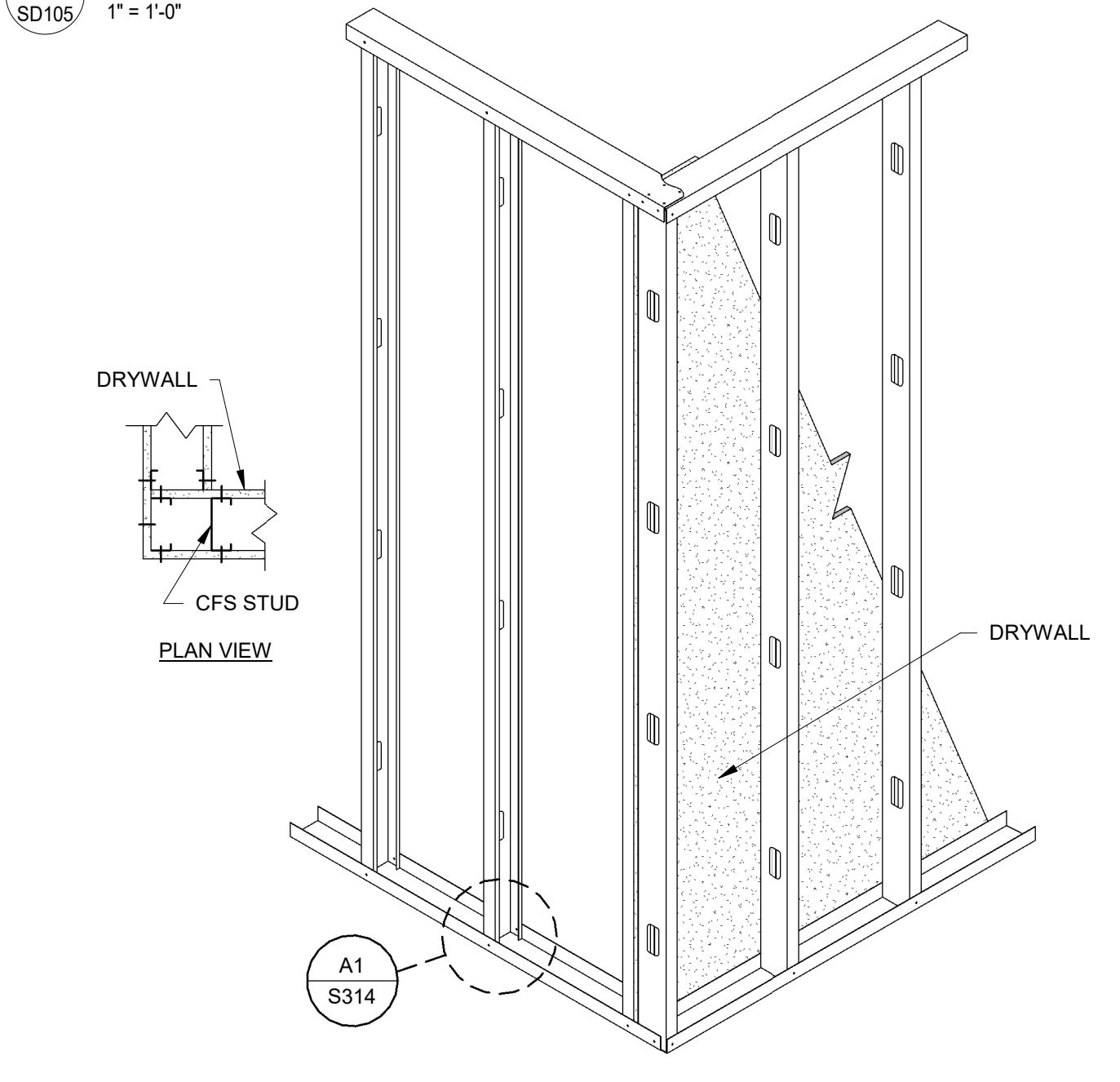
**A1 CFS- TYPICAL STUD TO TRACK CONNECTIONS DETAIL**  
1" = 1'-0"



**A2 CFS- WALL FRAMING DETAILS**  
1" = 1'-0"



**A3 CFS- TYPICAL BRIDGING WITH CLIP ANGLE DETAIL**  
1" = 1'-0"



**A4 CFS- TYPICAL CORNER DETAIL**  
1" = 1'-0"



SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
B	03/08/24	GMP DEMO SET	STB

NOT FOR CONSTRUCTION

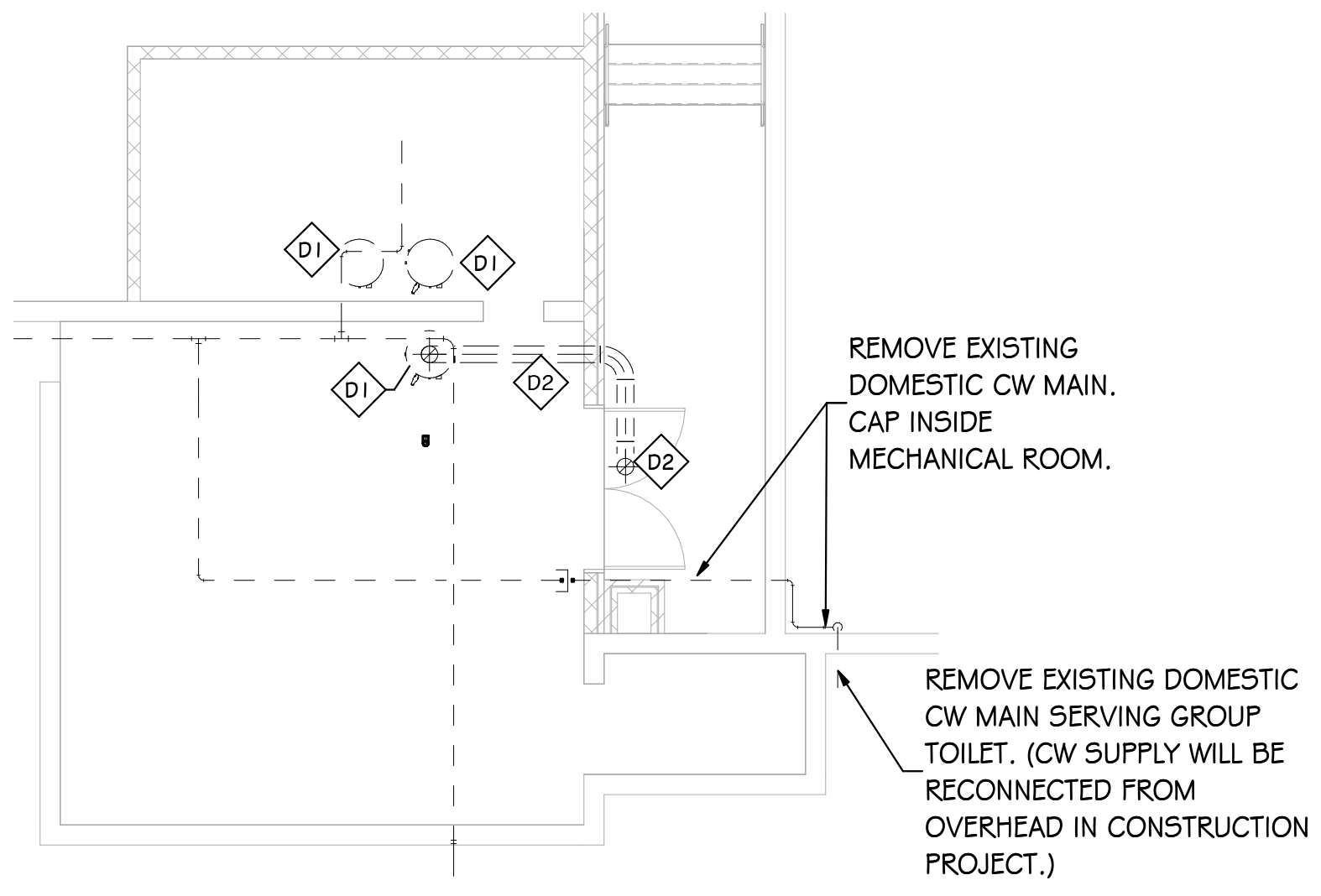
GMP DEMO SET	03/08/24
PRINCIPAL IN CHARGE:	STB
PROJECT ENGINEER:	HFC
DRAWN BY:	HFC

SHEET TITLE:  
**PLUMBING DEMOLITION  
PLANS**

SHEET NO.	CBE PROJ. NO.
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**PD-100**

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**PLUMBING DEMOLITION LEVEL 1000 - BOILER ROOM**  
1/8" = 1'-0"

**DEMOLITION NOTES:**

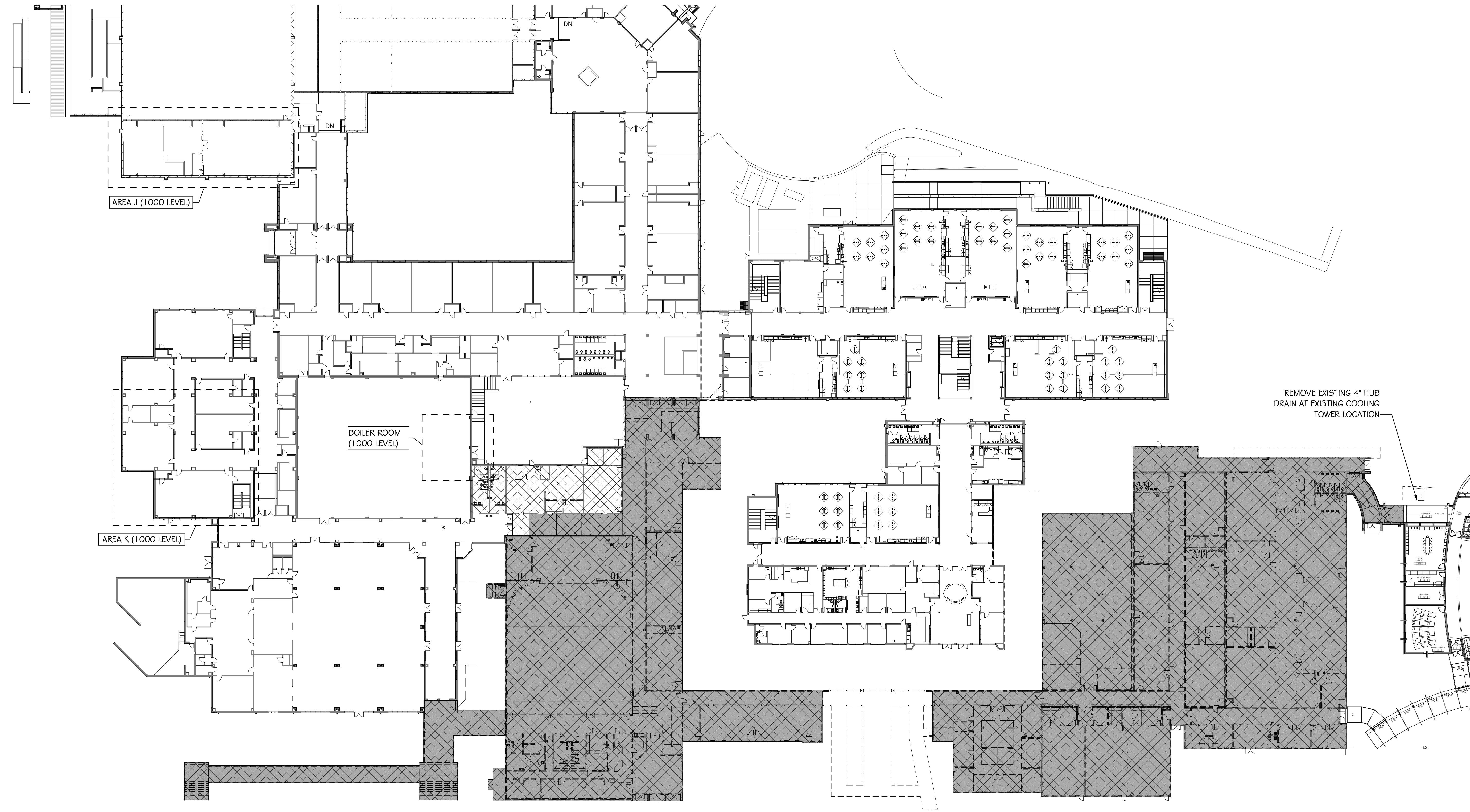
- UNLESS NOTED OTHERWISE, WHERE PLUMBING FIXTURES ARE REMOVED, CAP EXISTING WASTE, HOT WATER, COLD WATER, AND VENT PIPING INSIDE WALL, BELOW FLOOR, OR ABOVE CEILING. CAP END OF PIPING PRESSURE-TIGHT.
- WHERE EXISTING FLOOR DRAINS ARE REMOVED, REMOVE TRAP SERVING F.D. AND CAP SEWER BELOW THE SLAB.

**DEMOLITION KEYNOTES:**

- ⬠ DEMOLISH EXISTING WATER HEATER AND HOT WATER STORAGE TANKS, INCLUDING ALL ASSOCIATED, ABANDONED WATER PIPING, PUMPS, AND GAS PIPING.
- ⬠ REMOVE EXISTING WATER HEATER VENT. COORDINATE WALL CUTTING PATCHING WITH G.C.

**DEMOLITION LEGEND:**

- HATCH PATTERN INDICATES BUILDING AREA TO BE DEMOLISHED. DEMOLISH EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING THAT WILL NOT BE REUSED.
- HATCH PATTERN INDICATES BUILDING AREA TO BE RENOVATED. REMOVE EXISTING PLUMBING FIXTURES IN GROUP TOILET. EXISTING SEWER WATER AND VENT ROUGH-INS ARE TO BE USED WITH NEW FIXTURES IN CONSTRUCTION SCOPE OF WORK. EXISTING FLOOR DRAIN ROUGH-INS ARE TO BE RE-USED WITH NEW FLOOR DRAINS IN CONSTRUCTION SCOPE OF WORK. EXISTING ROOF DRAINS IN THIS AREA ARE TO REMAIN IN SERVICE.



**PLUMBING DEMOLITION LEVEL 1100**  
1" = 30'-0"

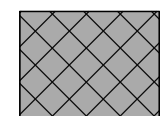
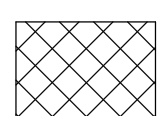








**DEMOLITION NOTES:**

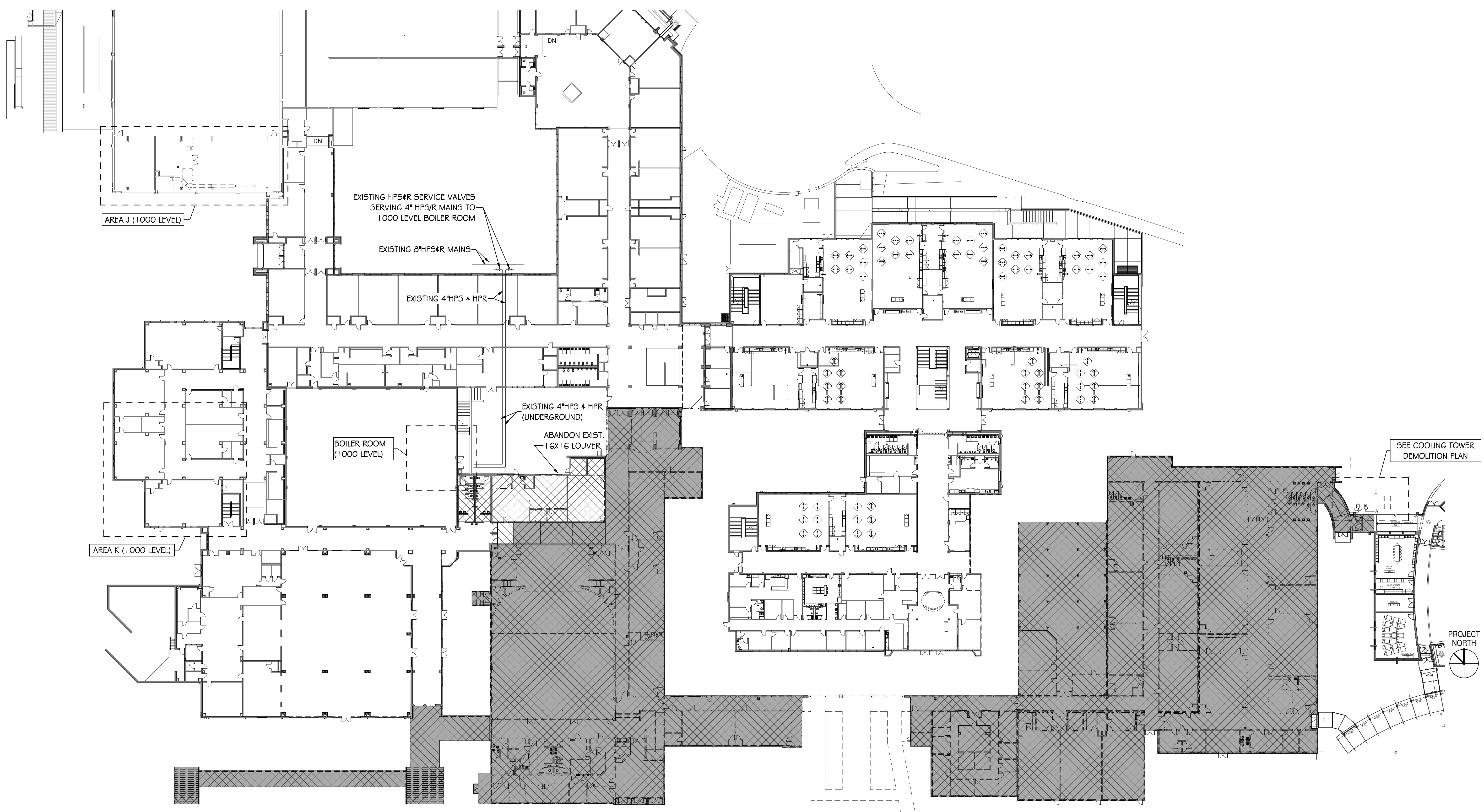
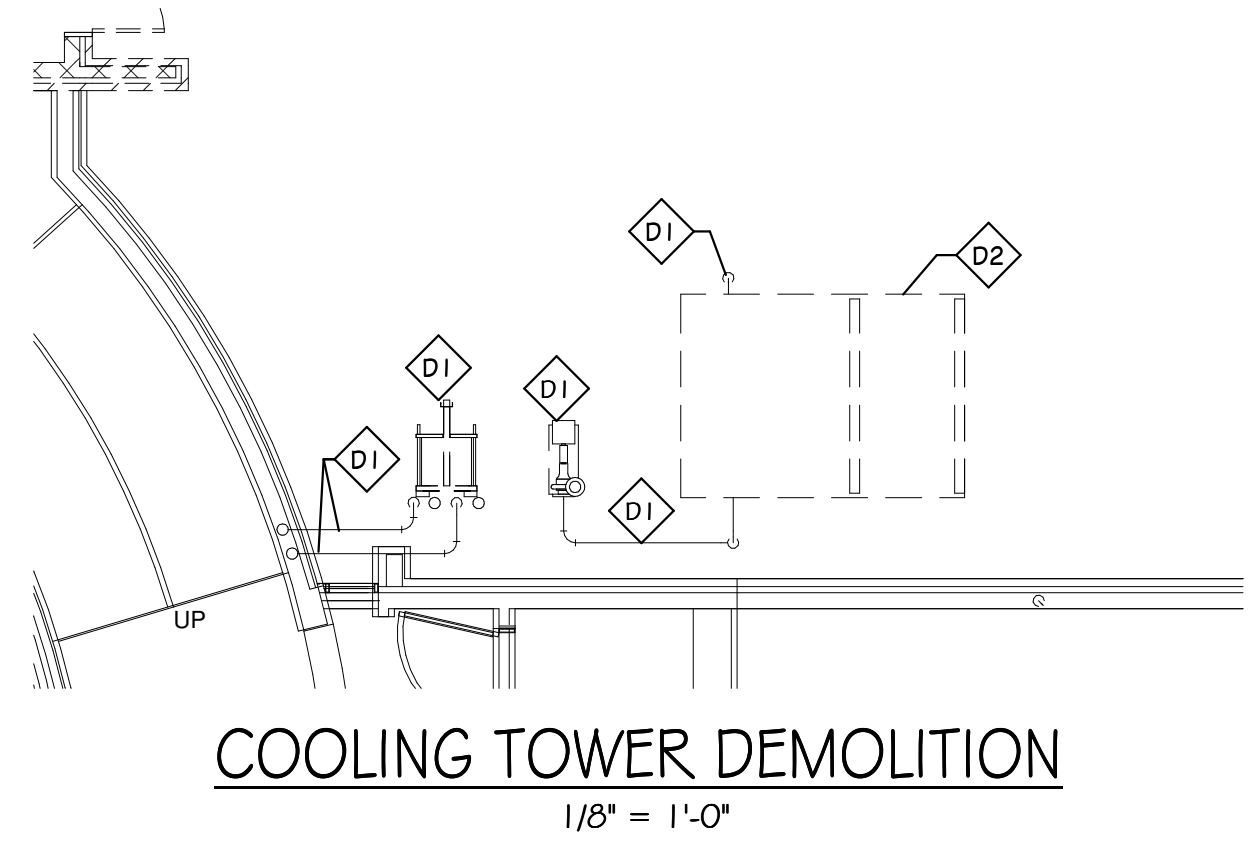
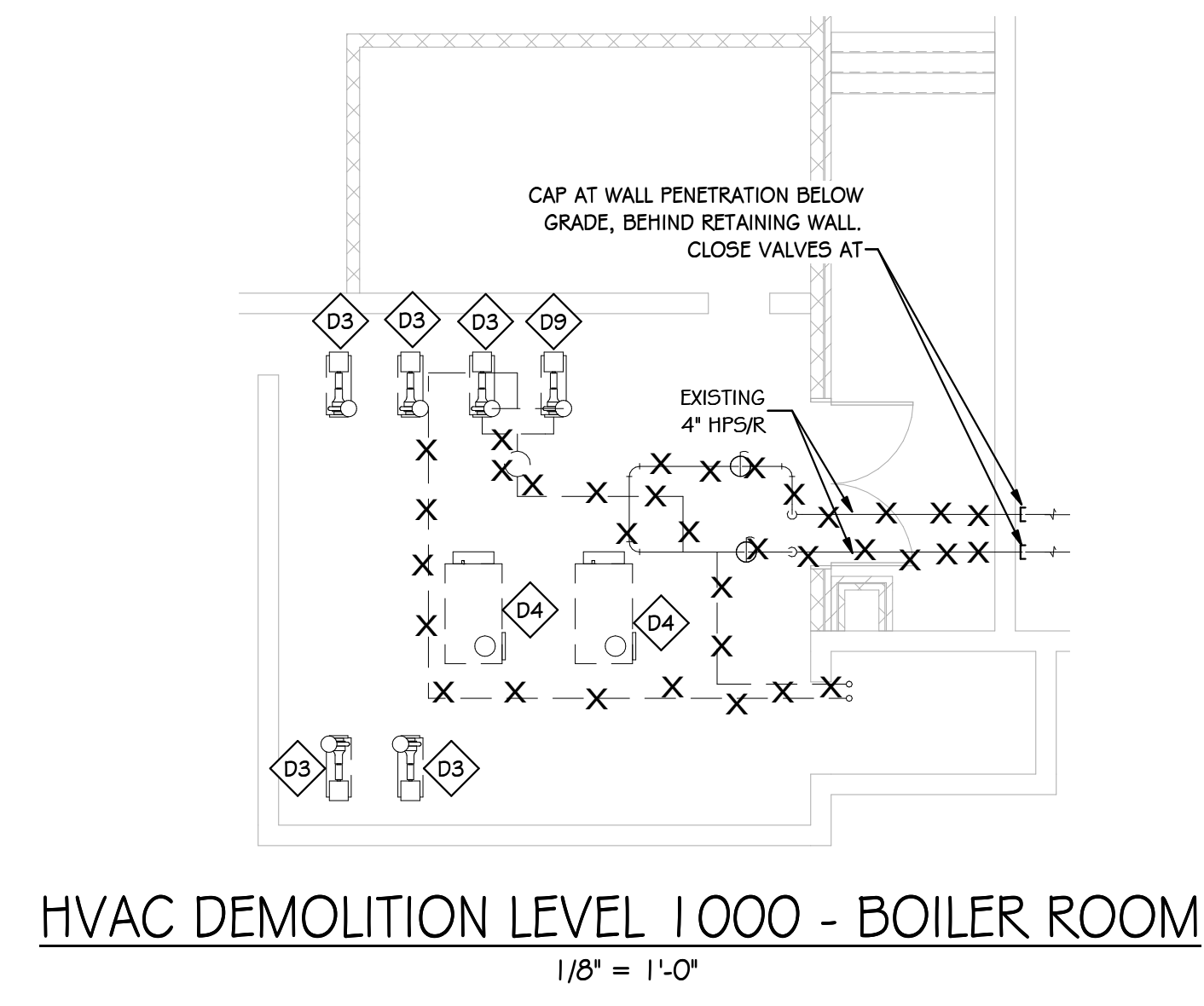
- WHERE EXISTING PIPING IS REMOVED, REMAINING PIPING SHALL BE TERMINATED ABOVE CEILING, INSIDE WALL, OR BELOW FLOOR. AT PIPE TERMINATION, PROVIDE CAP OR BLIND FLANGE TO CAPABLE OF OPERATING AT THE ORIGINAL SYSTEM DESIGN PRESSURE.
- WHERE EXISTING LOUVERS AND/OR BRICK VENTS ARE ABANDONED IN PLACE INSULATE BEHIND LOUVER WITH 4" THICK RIGID INSULATION SANDWICHED BETWEEN (2) LAYERS OF SHEET METAL. CAULK ALL SEAMS. PAINT SHEET METAL FACING LOUVER FLAT BLACK.
- WHERE EXISTING EXHAUST FANS ARE REMOVED, EXISTING ROOF CURB TO BE ABANDONED IN PLACE. CAP EXISTING ROOF CURB WITH 16 GAUGE, WELDED CURB CAP, TURNED DOWN OVER CURB MINIMUM 2". CURB CAP SHALL BE SLOPED MINIMUM 1/4" PER FOOT SLOPE ON (2) SIDES. SECURE CAP TO ROOF CURB WITH LAG BOLTS. PROVIDE 4" THICK RIGID INSULATION INSIDE ROOF CURB AT ROOF LEVEL. CAULK/SEAL INSULATION AT PERIMETER AND AT ALL INSULATION SEAMS.

**DEMOLITION LEGEND:**

-  HATCH PATTERN INDICATES BUILDING AREA TO BE DEMOLISHED. DEMOLISH EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED DUCTWORK, PIPING, AIR DEVICES, AND CONTROLS THAT WILL NOT BE REUSED.
-  HATCH PATTERN INDICATES BUILDING AREA TO BE RENOVATED. REMOVE EXISTING HVAC SYSTEMS AND ASSOCIATED DUCTWORK, AIR DEVICES, CONTROLS, AND PIPING.

**DEMOLITION KEYNOTES:**

-  REMOVE EXISTING HEAT EXCHANGER AND PUMP. REMOVE ALL PIPING, CONTROLS, CONCRETE PADS, STRUCTURAL SUPPORTS, AND HARDWARE ASSOCIATED WITH COOLING TOWER, PUMP, AND HEAT EXCHANGER.
-  EXISTING COOLING TOWER TO BE RELOCATED BY SEPERATE CONTRACT. DISCONNECT ALL PIPING FROM TOWER. COORDINATE SCHEDULE WITH OWNER WHEN COOLING TOWER CAN BE RELOCATED. ONCE THE TOWER HAS BEEN RELOCATED, REMOVE EXISTING STRUCTURAL SUPPORTS BELOW TOWER.
-  REMOVE EXISTING PUMPS AND ALL ASSOCIATED PIPE TRIM, INCLUDING ALL ABANDONED PIPING IN MECHANICAL ROOM.
-  REMOVE EXISTING ABANDONED BOILERS AND ALL ASSOCIATED PIPING.



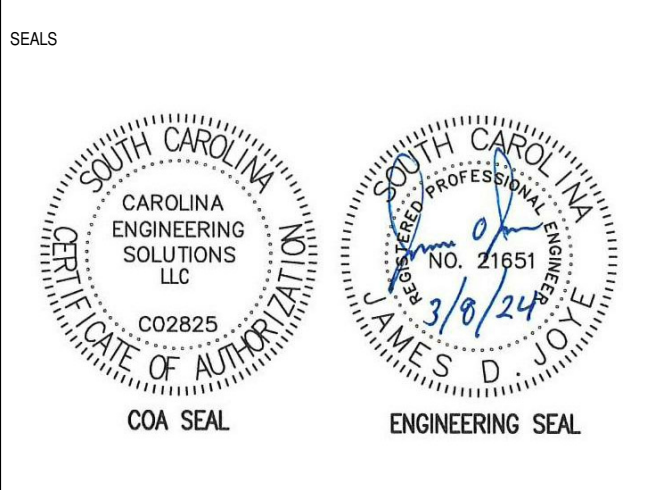
**LEVEL 1000 OVERALL DEMOLITION PLAN**

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PLAN NOTES:

- CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE, ARCHITECTURAL AND MECHANICAL DRAWINGS PRIOR TO ANY DEMOLITION FOR ADDITIONAL INFORMATION NOT SHOWN ON THESE DRAWINGS.
- CONTRACTOR TO REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT IN ITS ENTIRETY IN RENOVATED AREAS. REMOVE AS MUCH ASSOCIATED EQUIPMENT, CONDUIT AND WIRING AS POSSIBLE. COORDINATE WITH OWNERS REPRESENTATIVE FOR DISPOSAL. PROVIDE BLANK FACEPLATES OVER ALL UNUSED JUNCTION BOXES NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK.
- CONTRACTOR SHALL LABEL ALL DEMOLISHED CIRCUITS AS SPARE AT ORIGINATING PANELS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING CIRCUITS IN OPERATION IF SERVING EXISTING DEVICES NOT REMOVED DURING OPERATION. EXTEND ALL EXISTING CONDUIT AND WIRING AS REQUIRED.
- PROVIDE STAINLESS STEEL COVERPLATE(S) CAPABLE OF OVERLAPPING WALL PENETRATION BY MINIMUM OF 1/4" FOR ALL DEVICES REMOVED.
- PAINT TO MATCH AREAS IN WHICH A SURFACE MOUNTED DEVICE IS REMOVED AND WALL DOES NOT MATCH WALL FINISH.
- CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL HARDWARE AS REQUIRED TO RE-FEED EXISTING ELECTRICAL PANELS WITH NEW FEEDERS SHOWN. ADDITIONAL HARDWARE SHALL INCLUDE BUT NOT BE LIMITED TO, ADDITIONAL CONDUIT AND WIRING, JUNCTION BOXES, PANEL LUG ADAPTERS ETC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELECTRICAL PANELS PRIOR TO ANY WORK FOR ADDITIONAL INFORMATION.
- EXISTING SPACE ROOM TO BE DEMOLISHED. CONTRACTOR SHALL REMOVE ALL EXISTING POWER DEVICES BACK TO SOURCE OR NEAREST JUNCTION BOX. COORDINATE WITH EXISTING CONDITIONS PRIOR TO ANY WORK.

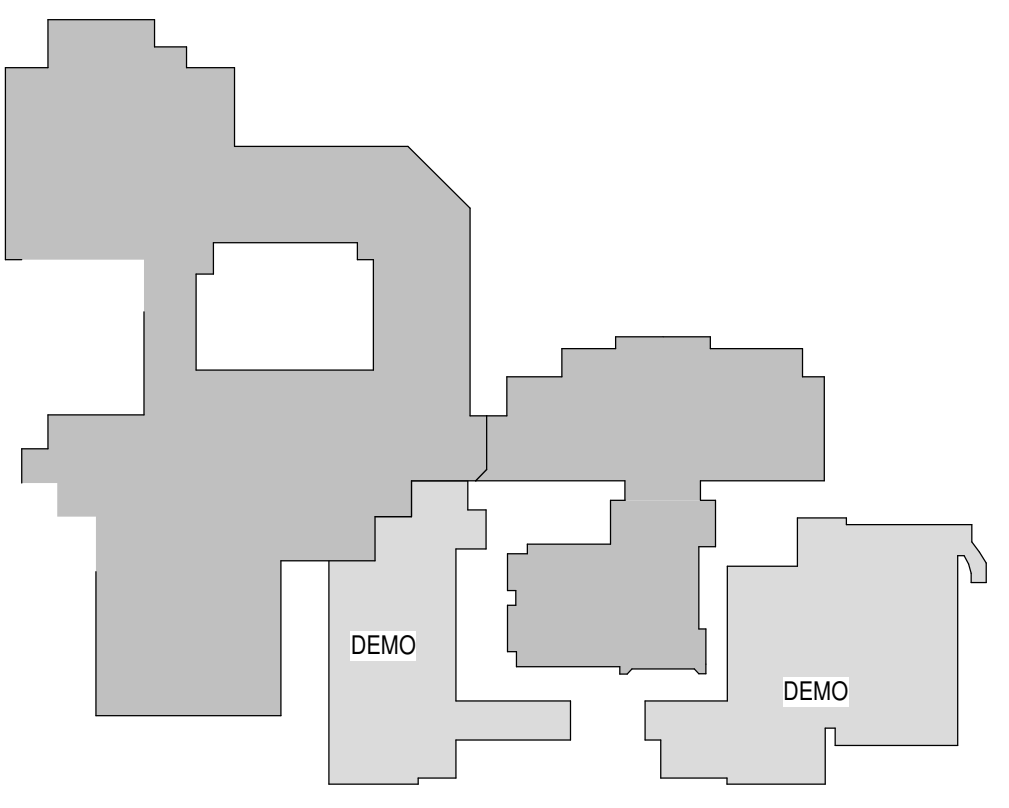


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SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION  
 150 E. MAIN STREET  
 DUNCAN, SC 29504

NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	JDJ
B	03/08/24	GMP DEMO SET	JDJ

GMP DEMO SET 03/08/24  
 PRINCIPAL IN CHARGE: JDJ  
 PROJECT ENGINEER: JDJ  
 DRAWN BY: REALHO  
 SHEET TITLE: ELECTRICAL DEMOLITION PLAN - AREA 'A'  
 SHEET NO. PROJ. NO. 022652.00

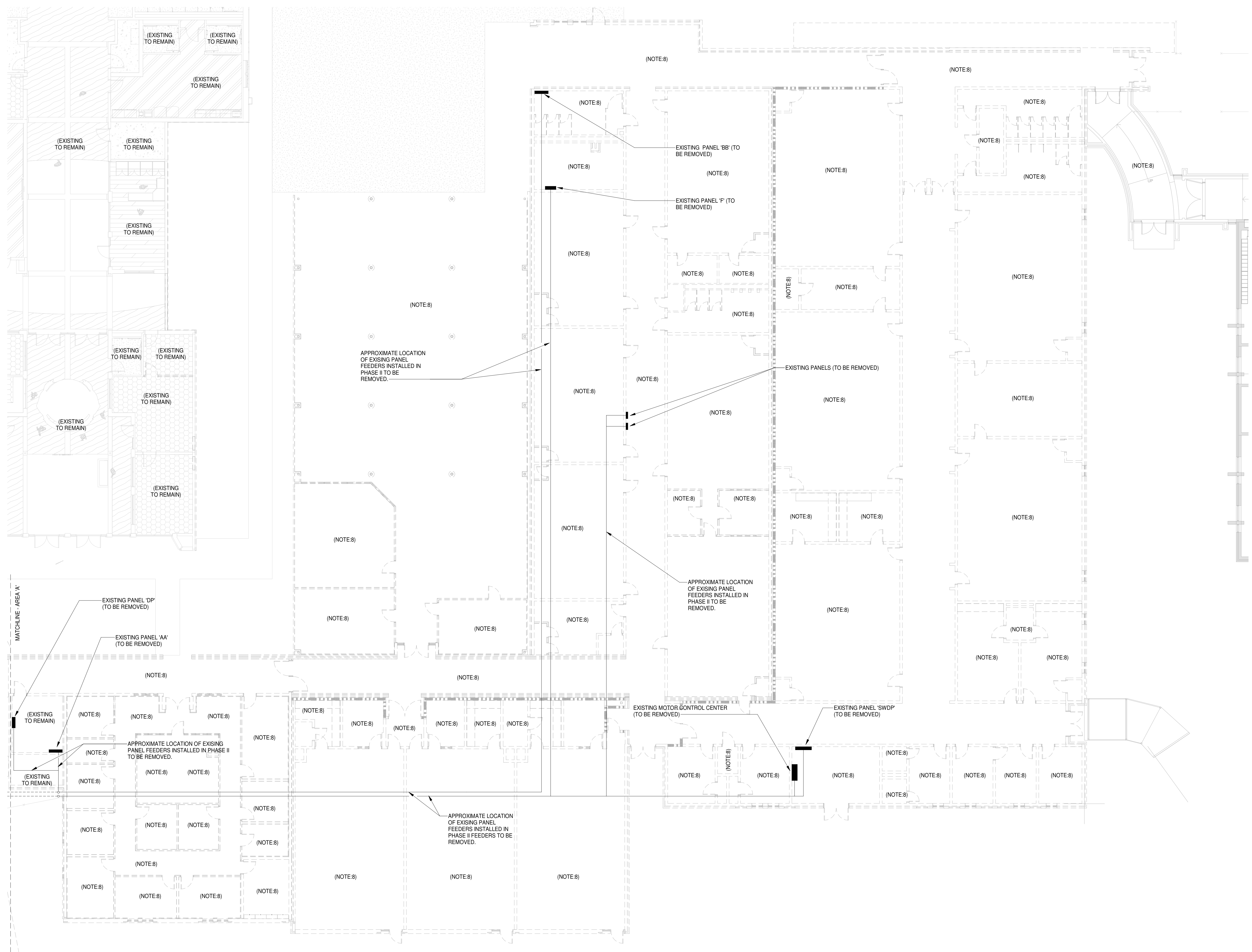
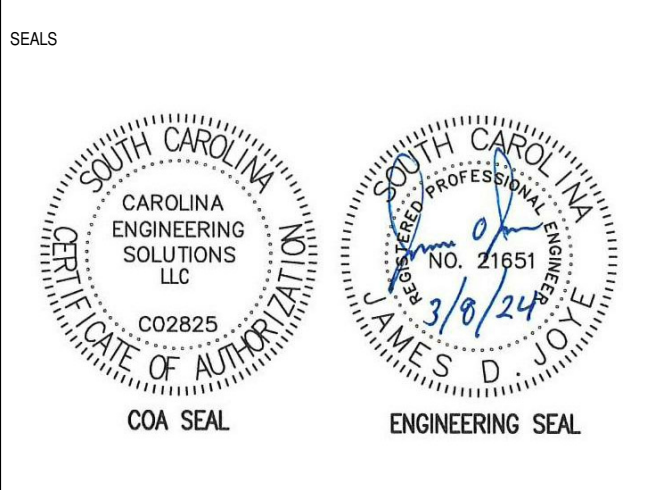


1 OVERALL DEMO. PWR PLAN LEVEL 1100 - AREA 'A'  
 3/32" = 1'-0"



PLAN NOTES:

- CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE ARCHITECTURAL AND MECHANICAL DRAWINGS PRIOR TO ANY DEMOLITION FOR ADDITIONAL INFORMATION NOT SHOWN ON THESE DRAWINGS.
- CONTRACTOR TO REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT IN ITS ENTIRETY IN RENOVATED AREAS. REMOVE AS MUCH ASSOCIATED EQUIPMENT, CONDUIT AND WIRING AS POSSIBLE. COORDINATE WITH OWNERS REPRESENTATIVE FOR DISPOSAL. PROVIDE BLANK FACEPLATES OVER ALL UNUSED JUNCTION BOXES NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK.
- CONTRACTOR SHALL LABEL ALL DEMOLISHED CIRCUITS AS SPARE AT ORIGINATING PANELS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING CIRCUITS IN OPERATION IF SERVING EXISTING DEVICES NOT REMOVED DURING OPERATION. EXTEND ALL EXISTING CONDUIT AND WIRING AS REQUIRED.
- PROVIDE STAINLESS STEEL COVERPLATE(S) CAPABLE OF OVERLAPPING WALL PENETRATION BY MINIMUM OF 1/4" FOR ALL DEVICES REMOVED.
- PAINT TO MATCH AREAS IN WHICH A SURFACE MOUNTED DEVICE IS REMOVED AND WALL DOES NOT MATCH WALL FINISH.
- CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL HARDWARE AS REQUIRED TO RE-FEED EXISTING ELECTRICAL PANELS WITH NEW FEEDERS SHOWN. ADDITIONAL HARDWARE SHALL INCLUDE BUT NOT BE LIMITED TO, ADDITIONAL CONDUIT AND WIRING, JUNCTION BOXES, PANEL LUG ADAPTERS ETC. CONTRACTOR FIELD VERIFY ALL EXISTING ELECTRICAL PANELS PRIOR TO ANY WORK FOR ADDITIONAL INFORMATION.
- EXISTING SPACE ROOM TO BE DEMOLISHED. CONTRACTOR SHALL REMOVE ALL EXISTING POWER DEVICES BACK TO SOURCE OR NEAREST JUNCTION BOX. COORDINATE WITH EXISTING CONDITIONS PRIOR TO ANY WORK.



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1 OVERALL DEMO. PWR PLAN LEVEL 1100 - AREA 'B'  
3/32" = 1'-0"

SPARTANBURG SCHOOL DISTRICT FIVE  
 JAMES F. BYRNES HIGH SCHOOL  
 PHASE 3 DEMOLITION  
 150 E. MAIN STREET  
 DUNCAN, SC 29504

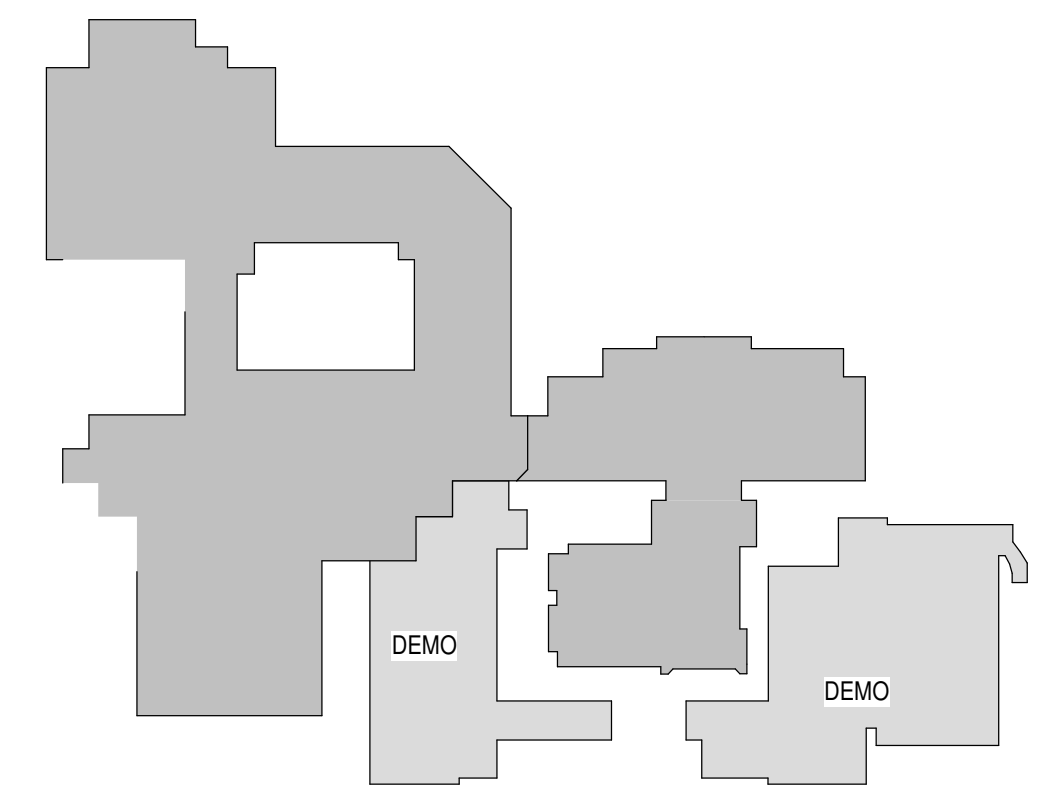
NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	JDJ
B	03/08/24	GMP DEMO SET	JDJ

GMP DEMO SET 03/08/24  
 PRINCIPAL IN CHARGE: JDJ  
 PROJECT ENGINEER: JDJ  
 DRAWN BY: REALHO

SHEET TITLE:  
**ELECTRICAL  
 DEMOLITION PLAN -  
 AREA 'B'**

SHEET NO. PROJ. NO.  
 DEMO 022652.00

ED202

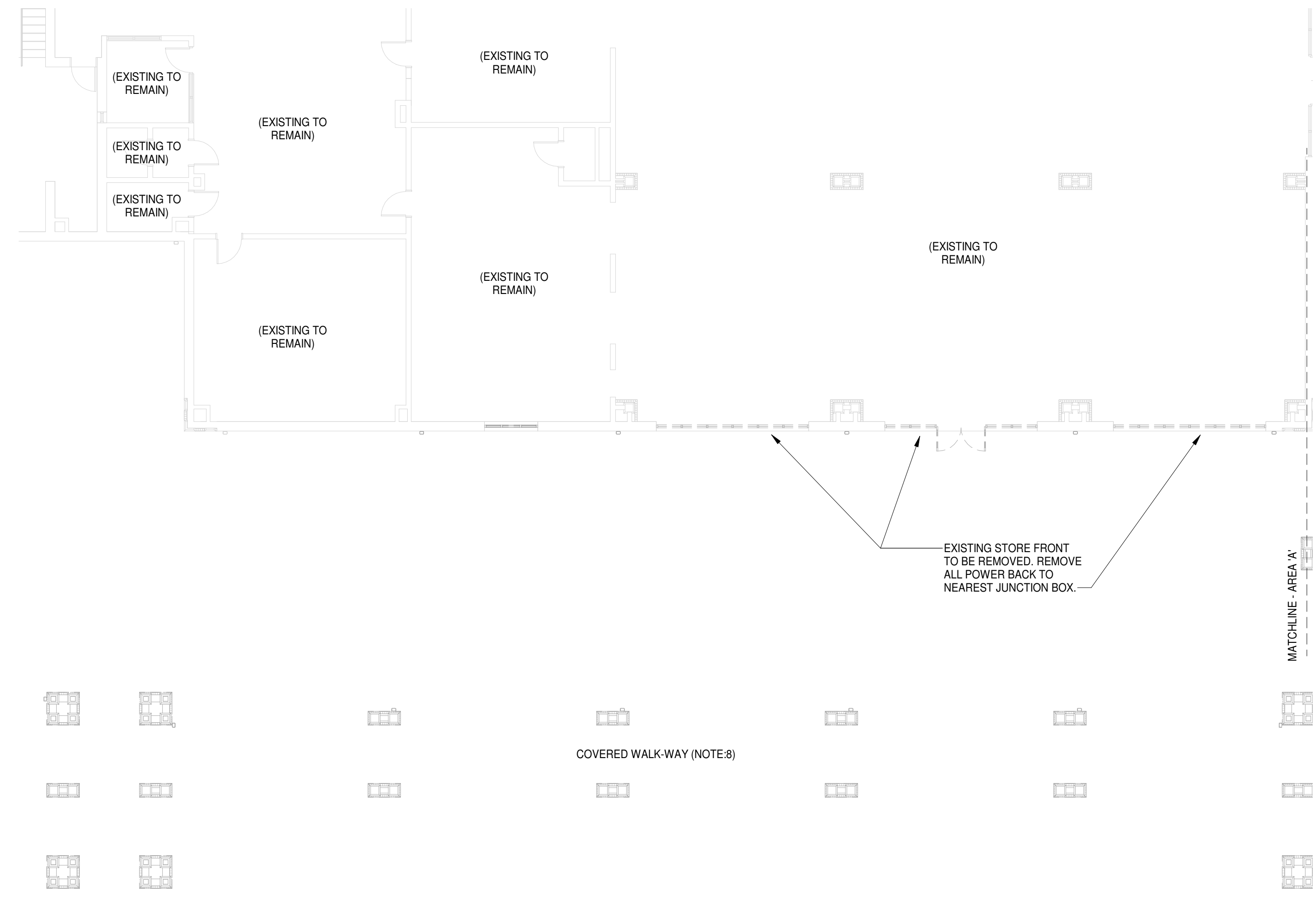




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**PLAN NOTES:**

- CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE ARCHITECTURAL AND MECHANICAL DRAWINGS PRIOR TO ANY DEMOLITION FOR ADDITIONAL INFORMATION NOT SHOWN ON THESE DRAWINGS.
- CONTRACTOR TO REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT IN ITS ENTIRETY IN REMOVED AREAS. REMOVE AS MUCH ASSOCIATED EQUIPMENT, CONDUIT AND WIRING AS POSSIBLE. COORDINATE WITH OWNERS REPRESENTATIVE FOR DISPOSAL. PROVIDE BLANK FACEPLATES OVER ALL UNUSED JUNCTION BOXES NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK.
- CONTRACTOR SHALL LABEL ALL DEMOLISHED CIRCUITS AS SPARE AT ORIGINATING PANELS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING CIRCUITS IN OPERATION IF SERVING EXISTING DEVICES NOT REMOVED DURING OPERATION. EXTEND ALL EXISTING CONDUIT AND WIRING AS REQUIRED.
- PROVIDE STAINLESS STEEL COVERPLATE(S) CAPABLE OF OVERLAPPING WALL PENETRATION BY MINIMUM OF 1/4" FOR ALL DEVICES REMOVED.
- PAIN TO MATCH AREAS IN WHICH A SURFACE MOUNTED DEVICE IS REMOVED AND WALL DOES NOT MATCH WALL FINISH.
- CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL HARDWARE AS REQUIRED TO RE-FEED EXISTING ELECTRICAL PANELS WITH NEW FEEDERS SHOWN. ADDITIONAL HARDWARE SHALL INCLUDE BUT NOT BE LIMITED TO, ADDITIONAL CONDUIT AND WIRING, JUNCTION BOXES, PANEL LUG ADAPTERS ETC. CONTRACTOR FIELD VERIFY ALL EXISTING ELECTRICAL PANELS PRIOR TO ANY WORK FOR ADDITIONAL INFORMATION.
- EXISTING SPACE ROOM TO BE DEMOLISHED. CONTRACTOR SHALL REMOVE ALL EXISTING POWER DEVICES BACK TO SOURCE OR NEAREST JUNCTION BOX. COORDINATE WITH EXISTING CONDITIONS PRIOR TO ANY WORK.

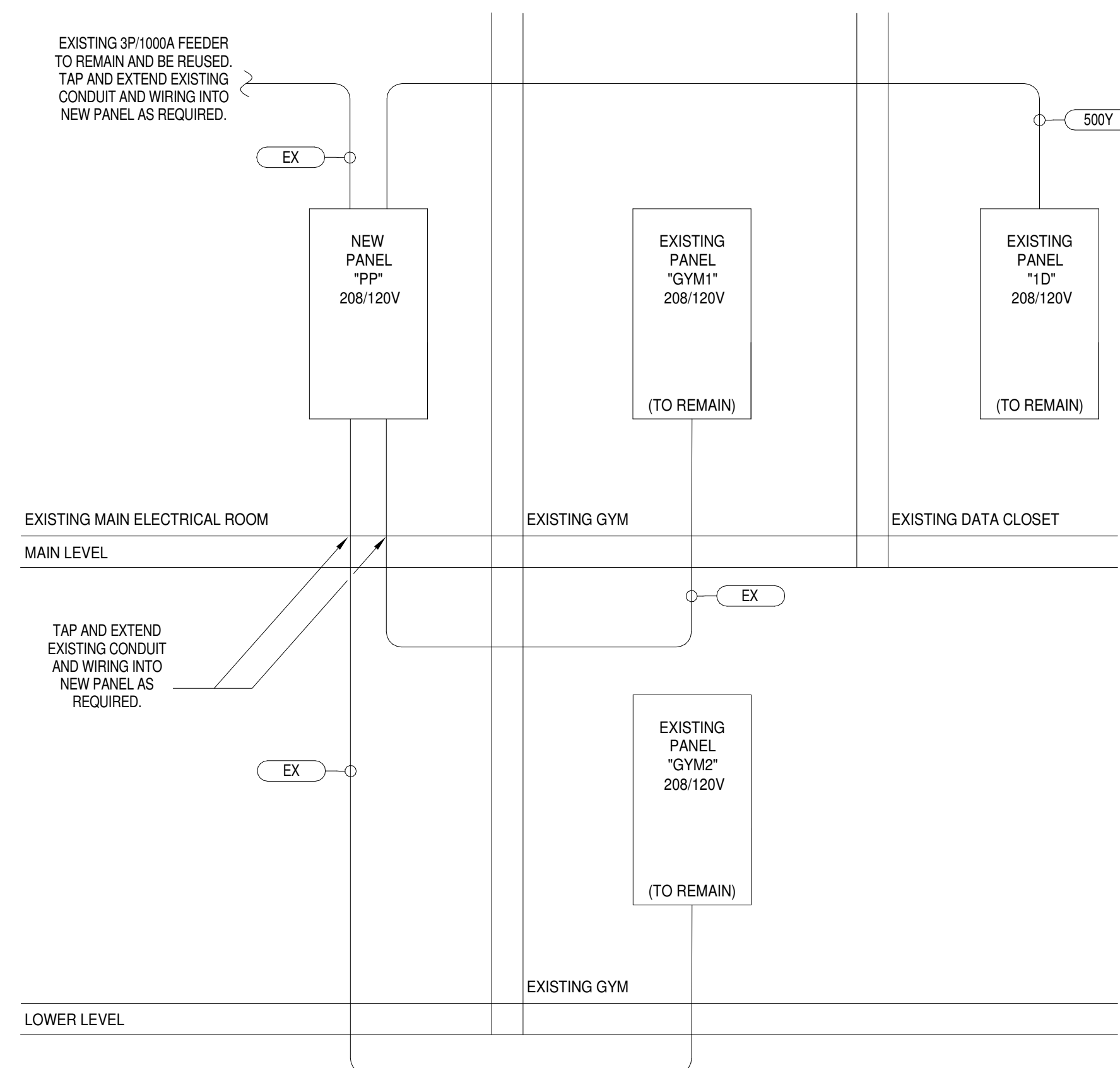


1 OVERALL DEMO. PWR PLAN LEVEL 1100 - AREA 'C'  
3/32" = 1'-0"

EXISTING FEEDER SCHEDULE							
SYMBOL	NO. OF SETS	PHASE	NEUTRAL	GROUND	ISOLATED GROUND	CONDUIT	REMARKS
EX	NA	N/A	N/A	N/A	--	N/A	SEE NOTE BELOW

NOTE:  
CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING PANEL FEEDERS DURING CONSTRUCTION.

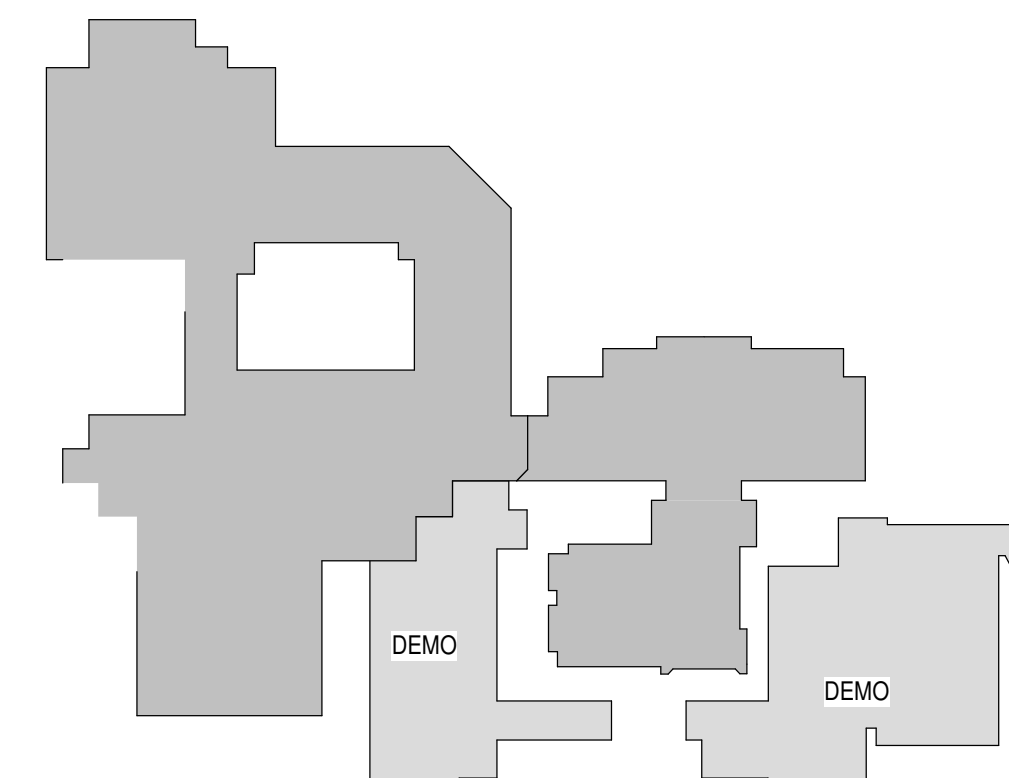
FEEDER SCHEDULE (90/75°C-3PH,N,G)							
SYMBOL	NO. OF SETS	PHASE	NEUTRAL	GROUND	ISOLATED GROUND	CONDUIT	REMARKS
900Y	2	3φ250	#250	#2	--	2 1/2"	



4 POWER RISER DIAGRAM AND PANEL SCHEDULE - DEMOLITION  
1/2" = 1'-0"

PANELBOARD: 'PP' (MEW)		VOLTAGE: 120/208V, 3-PH, 4W	
MOUNTING: SURFACE, NEMA 1		MINS: MLO	
TRIP: N/A		MIN. AIC RATING: 22,000A	
FRAME: 1000A		PHASE LOAD VA	
LOAD	DESCRIPTION	CKT.	TRIP
24000	PANEL '1D'	1	500
24000		3	4
24000		5	4
36000	PANEL 'GYM2'	7	400
36000		9	10
36000		11	12
30000	PANEL 'GYM1'	13	350
30000		15	16
30000		17	18
	SPACE	19	20
	SPACE	21	22
	SPACE	23	24
	SPACE	25	26
	SPACE	27	28
	SPACE	29	30
	SPACE	31	32
	SPACE	33	34
	SPACE	35	36
	SPACE	37	38
	SPACE	39	40
	SPACE	41	42

TOTAL L1 90000  
 TOTAL L2 90000  
 TOTAL L3 90000  
 TOTAL VA 270000  
 750 AMPS CONNECTED @ 208V, 3PH



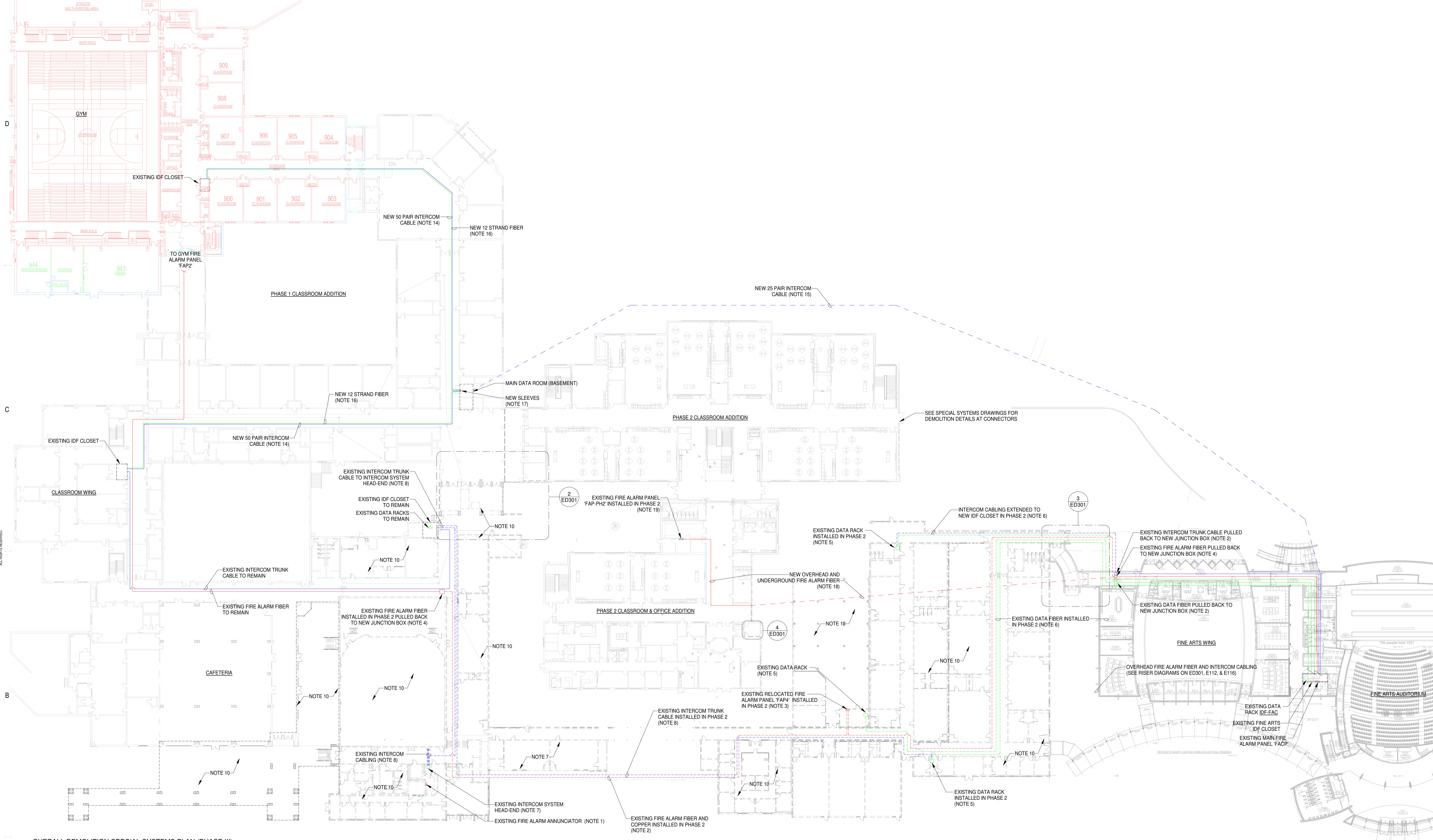
NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	JDJ
B	03/08/24	GMP DEMO SET	JDJ

GMP DEMO SET 03/08/24  
PRINCIPAL IN CHARGE: JDJ  
PROJECT ENGINEER: JDJ  
DRAWN BY: REALHO

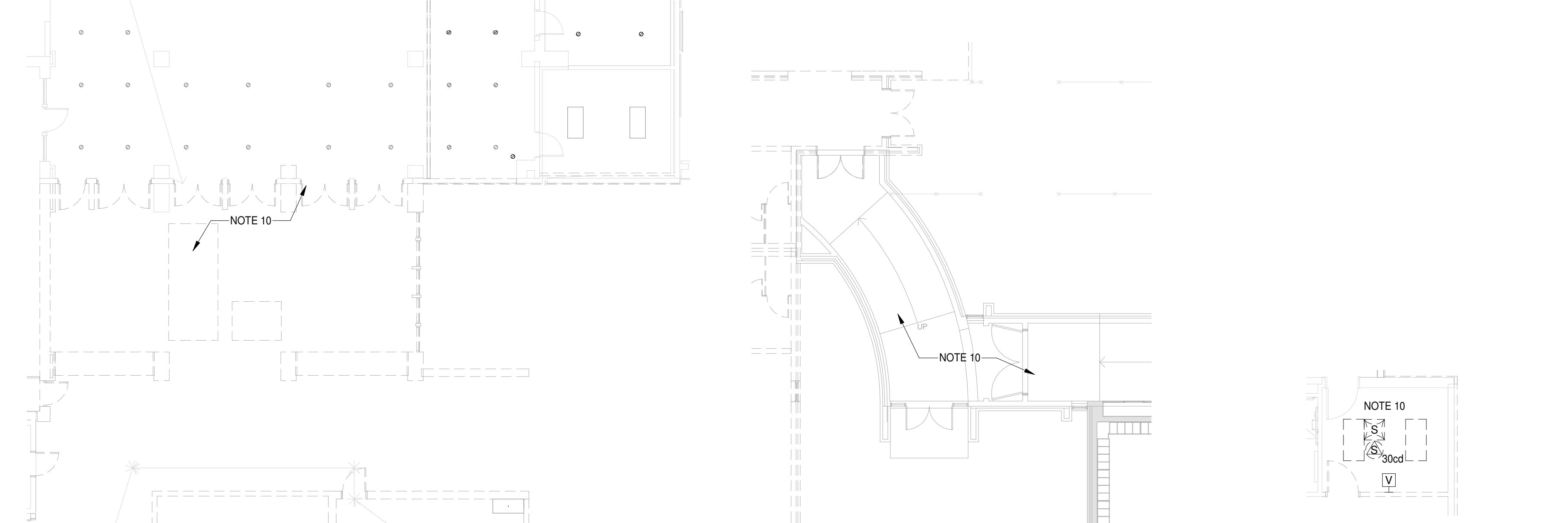
SHEET TITLE:  
**ELECTRICAL DEMOLITION PLAN - AREA 'C'**

SHEET NO. PROJ. NO.  
022652.00





1 OVERALL DEMOLITION SPECIAL SYSTEMS PLAN (PHASE III)  
1" = 30'-0"



2 PHASE 1 AREA SPECIAL SYSTEMS DEMOLITION  
3/32" = 1'-0"  
3 SPECIAL SYSTEMS PLAN - LEVEL 1100 - FINE ARTS CONNECTOR  
3/32" = 1'-0"  
4 OFFICE 1194 SPECIAL SYSTEMS DEMOLITION  
1/8" = 1'-0"

**SPECIAL SYSTEMS DEMOLITION NOTES:**

PRIOR TO DEMOLITION OF ANY LOW VOLTAGE SYSTEMS, COORDINATE WITH SCHOOL DISTRICT INFORMATION TECHNOLOGY DIRECTOR. NO DEMOLITION SHALL OCCUR UNTIL ALL EXISTING FIRE, DATA, INTERCOM, PHONE, AND SECURITY SYSTEMS HAVE BEEN RE-ROUTED AND OPERATIONAL. SEE ARCHITECTS PLANS FOR PHASING. ENSURE ALL EXISTING SYSTEMS CABLING IS CUT FREE PRIOR TO DEMOLITION OF BUILDINGS.

- EXISTING FIRE ALARM ANNUNCIATOR TO BE REMOVED. ANNUNCIATOR INSTALLED IN PHASE 2 TO BECOME PRIMARY.
- EXISTING FIRE ALARM FIBER/COPPER TO BE REMOVED.
- EXISTING FIRE ALARM PANEL TO BE REMOVED.
- EXISTING FIRE ALARM FIBER PULLED BACK TO ABOVE CEILING JUNCTION BOX. BOX SIZE AS REQUIRED. FIELD COORDINATE LOCATION.
- EXISTING DATA RACK AND EQUIPMENT TO BE REMOVED.
- EXISTING DATA FIBER TO BE REMOVED.
- EXISTING INTERCOM SYSTEM HEAD-END TO BE RELOCATED TO MDF. PROVIDE ALL MATERIAL AND LABOR FOR RELOCATION FROM EXISTING FRONT OFFICE TO NEW LOCATION. INCLUDE ALL COSTS ASSOCIATED WITH TAPPING AND EXTENDING WIRING OUT TO DEVICES FOR AREAS THAT ARE TO REMAIN. SEE NOTE 14 FOR NEW TRUNK CABLING REQUIRED.
- EXISTING INTERCOM TRUNK CABLE(S) TO BE REMOVED.
- EXISTING INTERCOM CABLING PULLED BACK TO ABOVE CEILING JUNCTION BOX. BOX SIZE AS REQUIRED. FIELD COORDINATE LOCATION.
- AREA OF DEMOLITION: REMOVE ALL ASSOCIATED LOW VOLTAGE DEVICES INCLUDING BUT NOT LIMITED TO: FIRE ALARM, DATA, PHONE, INTERCOM, SECURITY CAMERAS, DOOR ACCESS, AND WIRING/CABLING ASSOCIATED WITH DEMOLITION. COORDINATE WITH SCHOOL DISTRICT FOR EQUIPMENT/DEVICES TO BE RETURNED TO OWNER.
- PROVIDE JUMBO STAINLESS STEEL COVERPLATES OVER ALL UN-USED JUNCTION BOXES NOTE REMOVED DURING DEMOLITION.
- PAINT TO MATCH AREAS IN WHICH A SURFACE MOUNTED DEVICE IS REMOVED AND WALL/CEILING DOES NOT MATCH EXISTING WALL FINISH.
- SEE ARCHITECTURAL DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- FURNISH AND INSTALL PLENUM RATED 50 PAIR TRUNK CABLE FROM RELOCATED INTERCOM SYSTEM LOCATED IN MDF TO EXISTING COMMUNICATIONS CLOSET. UTILIZE EXISTING CABLE TRAY IF AVAILABLE AND/OR PROVIDE J-HOOKS 3" O.C. PROVIDE SLEEVES THROUGH FIRE RATED ASSEMBLIES OR OVER HARD CEILING AREAS AS REQUIRED. PROVIDE 66 BLOCKS FOR TERMINATIONS. PROVIDE ALL CONNECTIONS REQUIRED. RE-CONNECT ALL PAGING ZONES.
- FURNISH AND INSTALL INDOOR/OUTDOOR PLENUM RATED 25 PAIR TRUNK CABLE FROM RELOCATED INTERCOM SYSTEM LOCATED IN MDF TO EXISTING COMMUNICATIONS CLOSET IN FINE ARTS. UTILIZE EXISTING UNDERGROUND CONDUIT AND UPON ENTERING BUILDING EXISTING CABLE TRAY IF AVAILABLE AND/OR PROVIDE J-HOOKS 3" O.C. PROVIDE SLEEVES THROUGH FIRE RATED ASSEMBLIES OR OVER HARD CEILING AREAS AS REQUIRED. PROVIDE 66 BLOCKS FOR TERMINATIONS. PROVIDE ALL CONNECTIONS REQUIRED. RE-CONNECT ALL PAGING ZONES.
- FURNISH AND INSTALL 12 STRAND INTERLOCKING ARMORED CABLE, PLENUM RATED OM4 FIBER (CORNING) FROM EXISTING FIBER RACK LOCATED IN MDF TO EXISTING COMMUNICATIONS CLOSET DATA RACK FIBER BOX. PROVIDE ALL CONNECTIONS REQUIRED. UTILIZE EXISTING CABLE TRAY IF AVAILABLE AND/OR PROVIDE J-HOOKS 3" O.C. PROVIDE SLEEVES THROUGH FIRE RATED ASSEMBLIES OR OVER HARD CEILING AREAS AS REQUIRED.
- LOW VOLTAGE CONTRACTOR TO EVALUATE EXISTING SLEEVES AT MDF LOCATION AND FURNISH AND INSTALL AN ADDITIONAL (3) 4" SLEEVES IF REQUIRED.
- FURNISH AND INSTALL CORNING FREEDOM INDOOR/OUTDOOR PLENUM 62.5 MICRON (RSM) 5 STRAND MULTIMODE FIBER ROUTED IN CONDUIT PER PLANS. PROVIDE ALL CONNECTIONS BETWEEN FACP AND FAP-PH2.
- FURNISH AND INSTALL NETWORK COMMUNICATIONS MODULE AS REQUIRED FOR FIBER CONNECTION BACK TO MAIN CONTROL PANEL.

NO.	DATE	DESCRIPTION	BY
A	09/15/23	DD PRICING SET	JDJ
B	03/08/24	GMP DEMO SET	JDJ

GMP DEMO SET 03/08/24  
PRINCIPAL IN CHARGE: JDJ  
PROJECT ENGINEER: JDJ  
DRAWN BY: REALHO

SHEET TITLE:  
**SPECIAL SYSTEMS  
DEMOLITION PLAN**

SHEET NO. PROJ. NO.  
022852.00

**ED301**